Trudeau Building Rehabilitation

LANDMARK CONSULTING
Historic Preservation & Architectural Services

SCHOOLHOUSE CONSTRUCTION SERVICES, LLC

Addendum #2: Historic Saranac Lake – Trudeau Building Rehabilitation
PROJECT LOCATION: Reconstruction at 118 Main Street, Saranac Lake, NY 12983

Issue Date: February 5th, 2023

Distribution via email and posted on Historic Saranac Lake's website (https://www.historicsaranaclake.org/)

To: Bidding Contractors

Please be advised of the changes noted below to the Bidding documents and responses/answers to requests for information and questions received to date during the bidding period.

Modifications to Drawings:

Sheet A1.1:

1. 1/A1.1: First Floor Plan
    a. **Office 124** will have a 12"x12" vertical chase in the NW corner of the room to accommodate an 8"x8" vertical duct connected to an energy recovery unit located in the crawl space below 124 and to a lateral duct within a new horizontal chase on the south side of Reception 117. Walls of the vertical chase are now shown in **Wall Type 2D**.

Sheet A1.11:

1. 1&2/A1.11: First & Second Floor Reflected Ceiling Plans
    a. Ceiling types have been indicated with a ceiling type number within a box in selected rooms where there is new gypsum wall board anticipated to be fastened to existing plaster ceilings or exposed ceiling joists (Ceiling Type 6), the installation of suspended acoustic ceiling tile beneath existing plaster or gwb ceilings (Ceiling Type 7) or wood beaded board ceiling within porches & North Portico (Ceiling Type 8) or suspended gypsum wall board (Ceiling Type 9).
    b. Horizontal chases in Rooms 104 and 117 now have a dimension shown as well as ceiling height above finished floors. Also shown is the vertical chase in the NW corner of Office 124 that contains a new 8x8 duct connecting the energy recovery unit in the crawlspace below 124 with the horizontal chase in 117. Detail 3/A5.3 is referenced on both horizontal chases in Gallery 104 and Office 124.
2. 3/A1.11: Ceiling Types/Details (new)
    a. Ceiling Types **6, 7, 8 & 9** are shown and referenced in the reflected ceiling plans on **1 & 2/A1.11**.

Sheet A1.3:

1. 1/A1.3: Roof Plan
    a. Small EPDM roof added over reconstructed foundation wall for basement passage. Roof edge detail is similar to **3/A4.6** except there will not be a gutter on either the east or south roof edge. EPDM roofing membrane shall be terminated up behind new base trim cladding on south exterior wall of Main house and east exterior wall of Tenant Wing.

Sheet A5.3:

1. 3/A1.3: Acoustic Ceiling Tile/Gypsum Wallboard/Horizontal Chase Detail revised
    a. Detail revised to reflect horizontal chase and ceiling construction needed in Gallery 104 where the ceiling is gypsum wall board **Type 6** and Reception 117 where the ceiling is suspended acoustic ceiling tile, **Type 7**.
2. 4/A5.3: Wall Types
    a. Wall Type 2D added: new wall construction using 2x3 (or 2x4) wood studs with 5/8" GWB on occupied room side of wall forming vertical duct chase for an 8x8 fresh air duct in Office 124.
3. Finish Schedule:
    a. Rooms **107 & 107B** added to schedule.
    b. Ceiling Finish Types revised for the following rooms: **103, 104, 107, 107B, 111, 113, 205, 207, 208, 209, 213, WCP & SCP.**
    c. **Passage 212:** East wall finish revised to "1A"
    d. Interior finish Type **4A** modified to: "Existing wood trim: remove loose paint, sand smooth, clean, prime 1 coat of **lead-encapsulant paint**, & apply finish paint 2 coats."

The following Drawings edited by Northwoods Engineering dated February 03, 2023, have been updated and shall be made part of the Contract Documents:

Sheet C01: Site Demo Plan

1. Sign removal notes edited.

Sheet C10: Site Plan

1. Sign and fencing information edited.

Sheet C32: Site Details

1. Fence detail added.

Sheet C33: Site Details

2. Pressure Test Notes – note 1 edited.

Sheet S1.2: First Floor Structural Plan

1. Additional blocking shown along west wall of Room 116 to transfer loads from future compact storage to foundation.

The following Drawings prepared by Quantum Engineering Co., P.C., dated February 03, 2023, have been updated and shall be made part of the Contract Documents:

Sheet E7.0: Electrical Details & Diagrams

1. Fire alarm riser diagram updated to depict the pre-action fire sprinkler system releasing panel and devices.

Sheet P0.0: Plumbing Specifications & Notes

1. Adjusted the riser diagrams to account for modified piping layout.

Sheet P1.0: Plumbing Cellar Plan

1. Adjusted the new work drawing to account for modified piping of the second-floor bathrooms.

Sheet P1.1: Plumbing First Floor Plan

1. Adjusted the new work drawing to account for modified piping of the second-floor bathrooms.

Sheet P1.2: Plumbing Second Floor Plan

1. Adjusted new vent to account for modified piping on first floor.

Sheet FP0.0: Fire Protection Legends & Schedules

1. The pre-action fire sprinkler system shall include a double interlock deluge valve with electric solenoid release based on the cross-zoned smoke detectors via the releasing panel furnished by the electrical contract. The trim shall include a pneumatic release valve based on loss of the dry-side pressure. The pre-action valve and trim shall be based on Reliable DDX or approved equal. Provide all accessories including pressure maintenance device, trim and regulators including an air compressor for the quick fill, 30-minute recovery requirement. The N2 system shall be provided to produce a minimum 98% nitrogen environment inside the system.
2. The double-interlock system can be free-standing. It does not need to be in a cabinet.
3. Cutting of the building fabric shall be by the GC after the marked locations have been approved by architect.
4. Added an optional air compressor to N2 blaster schedule.

Modifications to Project Manual:

The following document have been edited in the Project Manual: (included in this Addendum)

1. Add-Alternate #6 – see Question #10 below for details.

Responses/Answers to information inquiries:

Q1: Question regarding MWBE participation - if a GC is a MBE or WBE, can work that they self-perform be counted towards the MWBE participation quotas?

A1: **YES**, it is our understanding that any/all work performed or money paid to the GC or prime contractor for the project can be counted towards the MWBE goals. Amy Catania noted that she has compiled a list of MWBE businesses that would be applicable to this project, if the chosen contractor needs additional resources to build their solicitation efforts.

Q2: Doe this project require prevailing wage rates?

A2: **NO**, this is not a prevailing wage project.

Q3: With regard to the proposed HVAC systems, what are the climate control expectations; museum standards or occupant comfort?

A3: **Occupant comfort is the expectation**. It is understood that this old building will not meet modern energy requirements; and as a designated/listed historic building it is not required to per code. That said, we have attempted to improve its weathertightness & energy efficiency where possible and where the opportunity exists (i.e. storm windows, weatherstripping, weather barrier on exterior walls, attic insulation, heat pump technology, LED lighting, etc.)

Q4: Who will be responsible for plowing driveway & heating building during the winter months over the duration of this project?

A4: The heating will be covered by HSL, with the understanding that the contractor is required to keep the boilers in good working condition. Since the property will likely be surrounded with fencing, the plowing should be managed and covered by the contractor. It was also pointed out during the meeting discussion that there is currently no working toilet in the bldg., as they have been removed as part of the Phase 1 abatement work. The contractor would need to arrange for on-site portable toilets, or could reinstate one of the removed toilets in Room 204.

Q5: Is it expected that this project will be conducted under one prime contract?

A5: **YES,** Historic Saranac Lake is seeking one general contractor to sign one master contract for the project. The GC can subcontract portions of the project as needed.

Q6: Given the recent removals of ceiling tiles in Room 104, there is a need to clarify the ceiling scope. Question also asked about the level of wall/ceiling finish work with Room 213 as an example where there is noticeable poorly taped drywall seams.

A6: See updated scope on sheet A1.11 illustrating ceiling types, details and locations of ceiling types on the reflected ceiling plans.

Q7: It was asked if there will be other opportunities to tour site?

A7: **YES**, it was noted that more contractors had made arrangements to visit site on the posted "raindate" of January 30th at 11am. Other visits can be arranged by appointment by calling or emailing Amy Catania, Exec. Director of HSL at 518-891-4606, amy@historicsaranaclake.org.

Q8: Is there a lead paint concern as part of the abatement scope?

A8: The Hazardous Materials Survey Report noted the results of lead-based paint sampling and testing in Section 4.1.3 (Page 12) and in Attachment C. Disturbance of these paint surfaces need to comply with applicable OSHA laws and regulations (29 CFR 1926.62) and shall employ work practices and controls to prevent the occurrence of lead contamination at the site. Given commercial use of the property, rather than residential use, OSHA regulations apply. The scope of work does not call for full stripping of any painted surfaces, but rather preparation for new layers and the encapsulation of existing paint layers with a lead block sealer/primer (Spec Section 099123 Interior Painting). Basis of design includes primer sealer "INSL-X Lead Block" by Benjamin Moore for all existing wood trim elements. See revised Finish Schedule on Sheet A5.3 for additional clarification.

Q9: Will the windows need to be pre-finished?

A9: This is a decision to be made by the contractor. The few new windows and their associated frames/sills/heads are expected to be fabricated in a shop, but the painted finishes can be applied on-site or in the shop prior to delivery to the site. The allowance for the wood storm windows is based on a quote from the manufacturer "Spencerworks" which includes fully glazed, primed and painted units.

Q10: Alternate #6 description seems to be a copy of Alternate #5's wording, please clarify.

A10: **YES**, the amended Alternate #6 description should read:

<u>Alternate No. 6</u>: New Site Drainage Between Driveway & West Exterior Foundation Wall

1. *Base Bid: West driveway pavement to remain and to be patched as required and as specified in related Divisions of the Project Manual.*

2. *Alternate: Selective cutting of existing pavement & installation of new concrete curbing along west side of Trudeau Building, installation of new footing drain and as specified in related Divisions of the Project Manual.*

Additional clarifications mentioned during the Pre-Bid Meeting include:

- Amy Catania indicated that the fundraising sign outside the building references that full project budget, which includes museum exhibits, staffing, administration. This is NOT the expected construction budget.
- The construction budget has been estimated at between $2 and $2.5million based on a recent professional const estimation firm (Dec. 2022).
- There will be a Clerk of the Works working on behalf of Historic Saranac lake to oversee day to day administrative tasks.
- Schoolhouse Construction Services will be assisting the owner and architects to review the master schedule and submittal schedule once a GC is under contract.
- It was explained that the overall construction schedule is flexible (spanning from Spring 2023 through end of 2024), however there is a need to get some of the doors and the storm windows manufactured by mid summer in order to satisfy one grant. Otherwise the sequencing of the work is flexible.

Also, please be advised that the building Owner is a non-profit entity and as such, has sales tax exemption on materials.

In your bid, please be sure to state your receipt of this Addendum on the Bid Proposal Form, page 2.

Thank you.

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.

1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.

1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.

B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.

C. Execute accepted alternates under the same conditions as other work of the Contract.

D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. **Alternate No. 1:** North Portico Construction.

1. Base Bid: Excavation and construction of concrete frost wall/footing, drainage & backfill and concrete slab for North Portico as shown on sheets A1.0, A4.1, C11, S1.0, S1.2 &2/S6.1 and as specified in related Divisions of the Project Manual.
2. Alternate: Construction of North Portico structure including but not limited to columns, roof, balustrade, railings and stone floor paving/foundation wall cladding providing a complete floor up to the main front door threshold and as specified in related Divisions of the Project Manual.

B. **Alternate No. 2:** Basement Passage.

1. Base Bid: No work in selective removals, excavation and construction of retaining walls and concrete flooring to link the main basement with the west (archives wing) basement.

2. Alternate: Selective removals of stone foundation walls (in two locations), excavation down to 6” below existing basement slab, installation of reinforced cast concrete footings & retailing walls, reinforced cast concrete floor slab, & installation of Door 005B, as indicated on Sheets A0.2, A1.0, A5.3, S1.0 and S1.1 and as specified in related Divisions of the Project Manual

C. **Alternate No. 3:** Attic Insulation.

1. Base Bid: No work in adding attic insulation as attic floor is currently insulated with fiberglass batt-insulation, however, 3 areas of constructed insulated enclosures as shown on 7/A1.3 will remain in base contract.

2. Alternate: The installation of 2x6 furring, 24” o.c., R-23 rock wool batt insulation between furring and ¾” t&g plywood sheathing to create new floor deck in areas with 3’ or more of headroom as shown on Sheets A1.3 & A5.3 except in Attic 302 where no furring or decking will be installed and R-30 rock wool batt insulation will be installed over metal-clad attic floor and as specified in Divisions 061000 - “Rough Carpentry," 072100 – “Thermal Insulation”

D. **Alternate No. 4:** Site Paving Improvements

1. Base Bid: Selected South Driveway and parking areas to be cut/removed and patched as required & striped to delineate new parking spaces as shown on Sheets C01 & C10 and as specified in related Divisions of the Project Manual.

2. Alternate: Resurfacing of existing paving in the south parking/driveway area as indicated on Sheet C10, addition of subsurface drainage along east and south foundation walls and as specified in related Divisions of the Project Manual.

E. **Alternate No. 5:** New Crosswalk Linking Alley Walk with Disabled Parking Area

1. Base Bid: South driveway pavement to remain and to be patched as required, striped to delineate crosswalk and parking as indicated on Sheet C10 and as specified in related Divisions of the Project Manual.

2. Alternate: Selective cutting of existing pavement & installation of new concrete crosswalk connecting Trudeau Building with the new disabled parking clearance space near the NW corner of the Lab Building and as specified in related Divisions of the Project Manual.

F. **Alternate No. 6:** New Site Drainage Between Driveway & West Exterior Foundation Wall

1. Base Bid: West driveway pavement to remain and to be patched as required and as specified in related Divisions of the Project Manual.

2. Alternate: Selective cutting of existing pavement & installation of new concrete curbing along west side of Trudeau Building, installation of new footing drain and as specified in related Divisions of the Project Manual.

END OF SECTION 012300

ADD-ALTERNATE #1: SEE SHEET A4.1 FOR MORE INFO.

AREA OF NEW WOOD FLOORING TO MATCH EXISTING, CLEAR FIN. (67 S.F.)

SEE SHEET M1.1 FOR RELOCATED/SALVAGED RADIATOR

MAIN HOUSE EXIST. CONST.

TENANT WING EXIST. CONST.

SEE SHEET A5.4 FOR MORE INFO.

SEE SHEET A4.6 FOR MORE INFO.

SEE SHEET A2.1 FOR MORE INFO.

SEE SHEET A4.2/4.3 FOR MORE INFO.

SEE SHEET A4.5 FOR MORE INFO.

RELOCATED CAST-IRON BASEBOARD HEAT, SEE M1.1

RELOCATED RADIATOR, SEE M1.1

NORTH PORTICO

EXHIBIT SPACE 103

EXHIBIT SPACE 104

TOILET 105

TOILET 106

JC/STOR 106B

STAIR 1

GALLERY 108

VIDEO ROOM 111B

EXHIBIT SPACE 111

PASSAGE 111C

RAMP 111D

STAIR 3

FOYER 119A

STAIR 2

KITCHENETTE 119

RECEPTION 117

EAST PORCH

OFFICE 118

OFFICE 124

OFFICE 122

TOILET 120

COPY RM. 121

WEST OPEN PORCH

ARCHIVES OFFICE 114

COL. STORAGE 115

COL. STORAGE 116

CORRIDOR 113

SOUTH OPEN PORCH

4" C.I.P. CONCR. SLAB

1 A1.1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH

LEGEND:

EXISTING WALLS

NEW WALLS

WOOD CHAIR/BASE TRIM (C B)

WOOD BASE TRIM (- B)

PICTURE RAIL TRIM (P -)

MATERIAL LEGEND:

CARPET TILE

EXIST./NEW WD. FLOOR

RESILIENT TILE

CONC. SLAB

NEW/SALVAGED TRIM

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CONSULTANT

SIGNED/STAMPED

PROJECT TITLE

TRUDEAU HOUSE MUSEUM
REHABILITATION
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

BID SET

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
1-24-23	ADDENDUM	#1
2-03-23	ADDENDUM	#2

SHEET TITLE
FIRST FLOOR PLAN

SCALE
AS-NOTED

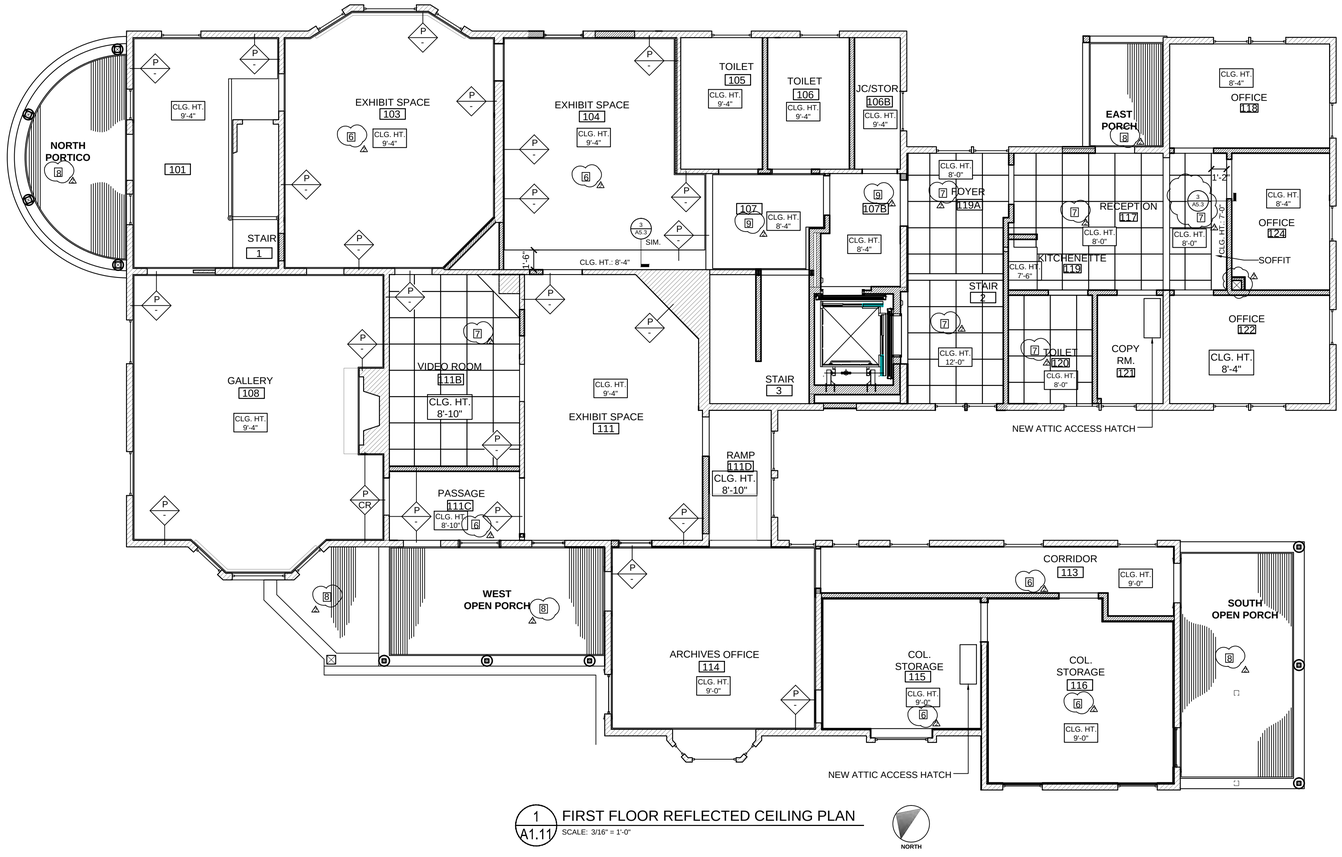
DRAWN
JA

DATE
12/16/22

PROJECT NUMBER
2103

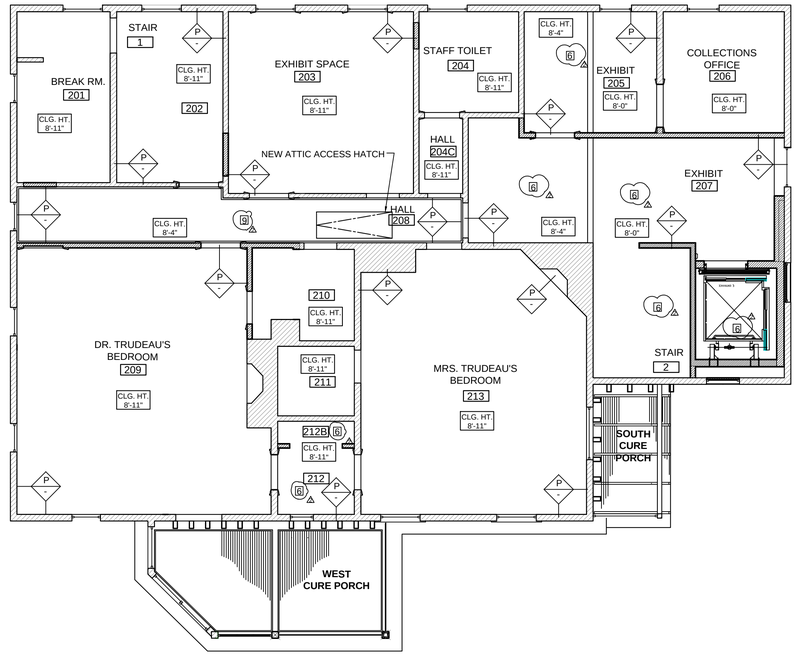
SHEET NUMBER
A1.1

BID SET



1 A1.11 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

NORTH



2 A1.11 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

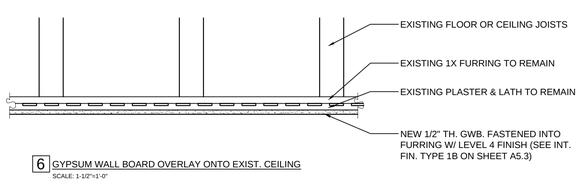
NORTH

LEGEND:

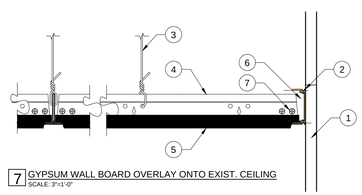
EXISTING WALLS

NEW WALLS

WOOD PICT. RAIL TRIM
CROWN MOLDING

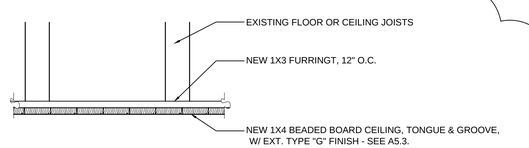


6 GYPSUM WALL BOARD OVERLAY ONTO EXIST. CEILING
SCALE: 1-1/2"=1'-0"



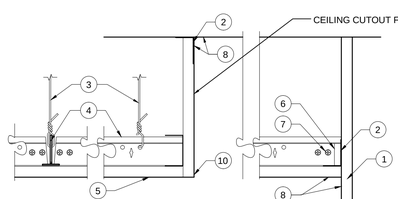
7 GYPSUM WALL BOARD OVERLAY ONTO EXIST. CEILING
SCALE: 3"=1'-0"

DETAIL KEY:
1. ADJACENT WALL
2. "ELITE TRIM" BY USG OR APPROVED EQ.
3. HANGER WIRE AS REQ'D.
4. MAIN OR CROSS T - CUT TO LENGTH (A.C.T.) OR 650 CHANNEL (G.W.B.)
5. 2X2 ACOUSTIC CEILING PANEL
6. ATTACHMENT CLIP
7. PAN-HEAD SCREW FASTENERS



8 WOOD BEADED BOARD CEILING (EXT. PORTICO/PORCH CEILINGS)
SCALE: 1-1/2"=1'-0"

3 A1.11 CEILING TYPES/DETAILS
SCALE: VARIES



9 GYPSUM WALLBOARD SUSPENDED CEILING
SCALE: 3"=1'-0"

DETAIL KEY:
1. ADJACENT WALL
2. "DGWM24" L-CHANNEL BY USG OR APPROVED EQ.
3. HANGER WIRE AS REQ'D.
4. "DGW26s" MAIN OR CROSS T BY USG OR APPROVED EQ.
5. 5/8" TH. GWB, TYPE 1B FINISH
6. ATTACHMENT CLIP
7. PAN-HEAD SCREW FASTENERS
8. TAPE ALL INSIDE CORNERS
9. "DGLC-12" C-CHANNEL BY USG OR APPROVED EQ.
10. REINF. METAL CORNER, TAPED IN

2

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BID SET

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
2-3-23	ADDENDUM	#2

SHEET TITLE
FIRST & SECOND FLOOR REFLECTED CEILING PLANS

SCALE
AS-NOTED

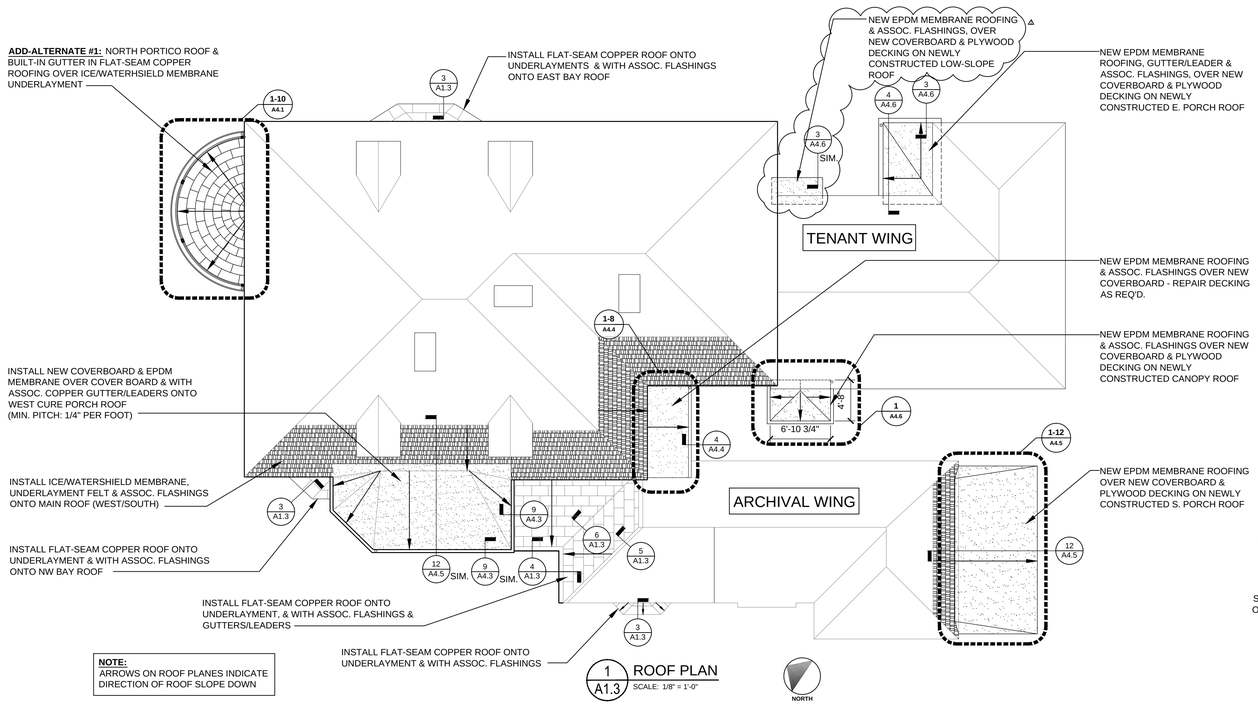
DRAWN
JA

DATE
12/16/22

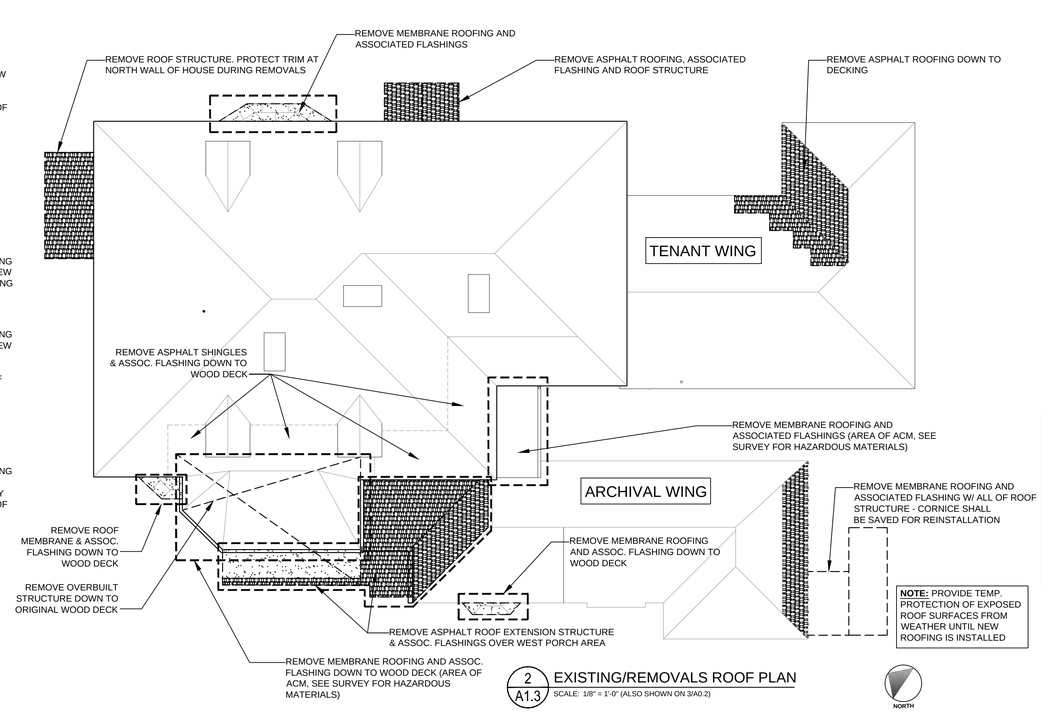
PROJECT NUMBER
2103

SHEET NUMBER
A1.11

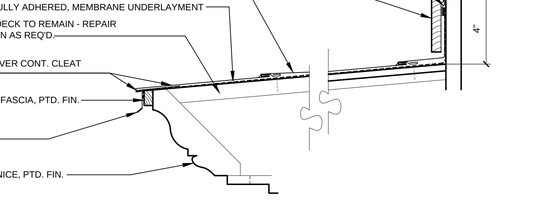
BID SET



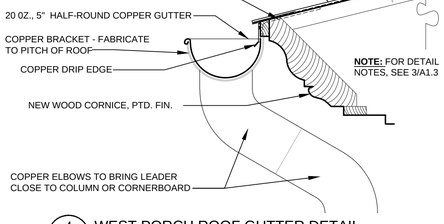
1 A1.3 ROOF PLAN
SCALE: 1/8" = 1'-0"



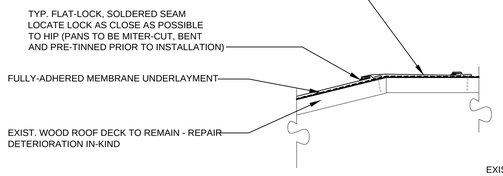
2 A1.3 EXISTING/REMOVALS ROOF PLAN
SCALE: 1/8" = 1'-0" (ALSO SHOWN ON 3/A0.2)



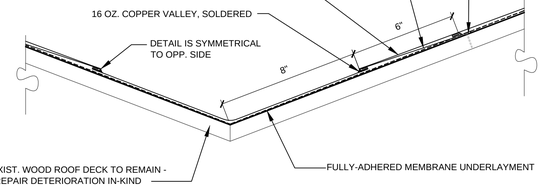
3 A1.3 TYP. BAY ROOF DRIP, ROOFING & FLASHING DETAIL
SCALE: 3" = 1'-0"



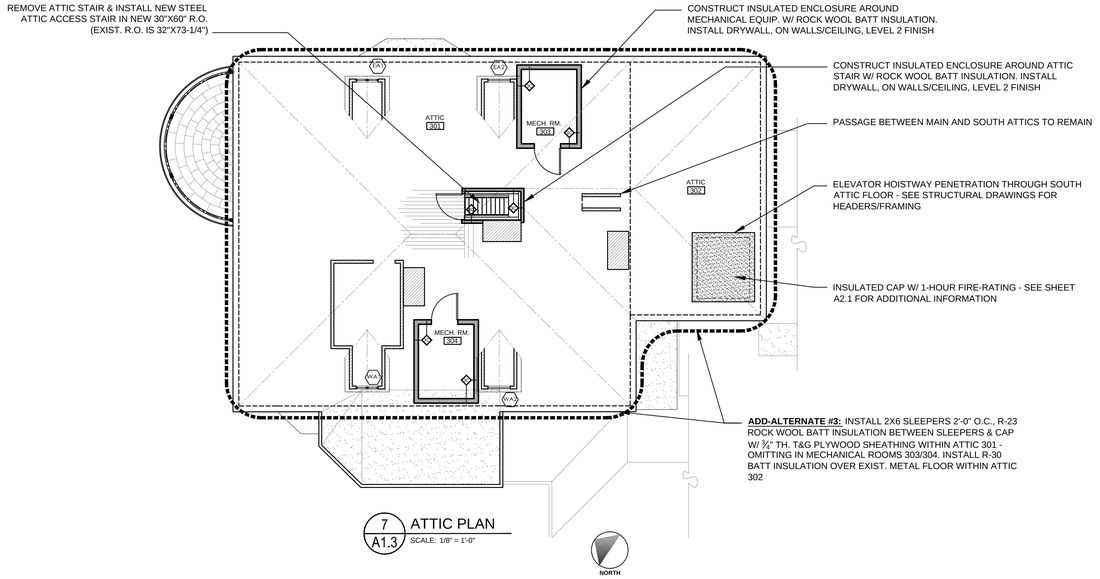
4 A1.3 WEST PORCH ROOF GUTTER DETAIL
SCALE: 3" = 1'-0"



5 A1.3 WEST PORCH ROOF DETAIL AT HIP
SCALE: 3" = 1'-0"



6 A1.3 WEST PORCH ROOF DETAIL AT HIP
SCALE: 3" = 1'-0"



7 A1.3 ATTIC PLAN
SCALE: 1/8" = 1'-0"

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2-3-23	ADDENDUM	#2

SHEET TITLE
ROOF PLAN
ROOF / ATTIC DETAILS

SCALE
AS-NOTED

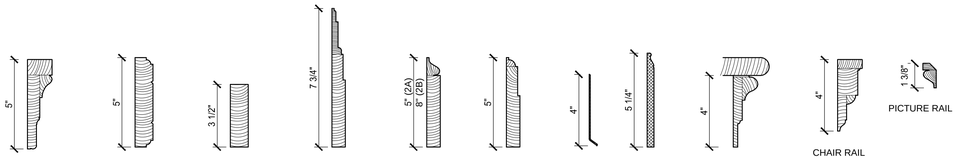
DRAWN
JA

DATE
12/16/22

PROJECT NUMBER
2103

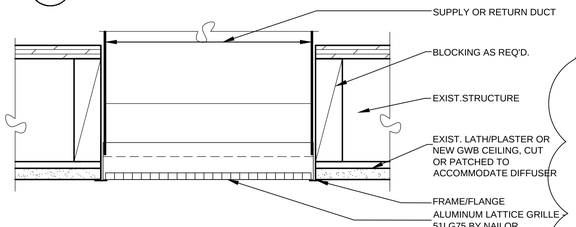
SHEET NUMBER
A1.3

BID SET

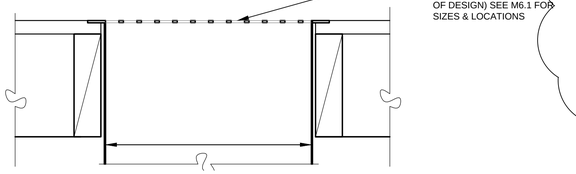


DOOR/WINDOW CASING - TYPE A | DOOR/WINDOW CASING - TYPE B | DOOR/WINDOW CASING - TYPE C | BASEBOARD TYPE 1 | BASEBOARD TYPE 2A/B | BASEBOARD TYPE 3 | VINYL BASE TYPE 4 | VINYL BASE TYPE 5 | WINDOWSILL STOOL | CHAIR RAIL | PICTURE RAIL

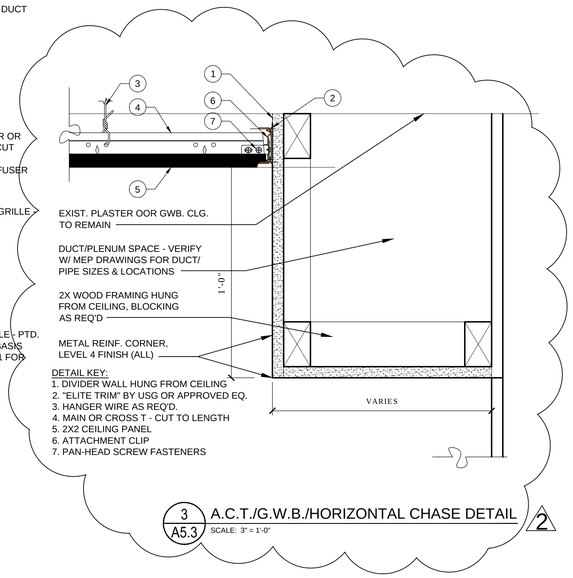
1 / A5.3 TRIM TYPES
SCALE: 3" = 1'-0"



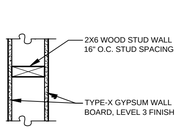
2A / A5.3 CEILING GRILL DETAIL
SCALE: 3" = 1'-0"

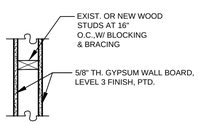


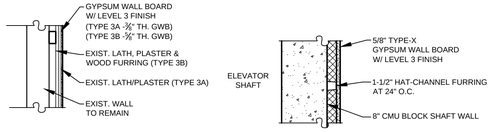
2B / A5.3 FLOOR GRILL DETAIL
SCALE: 3" = 1'-0"

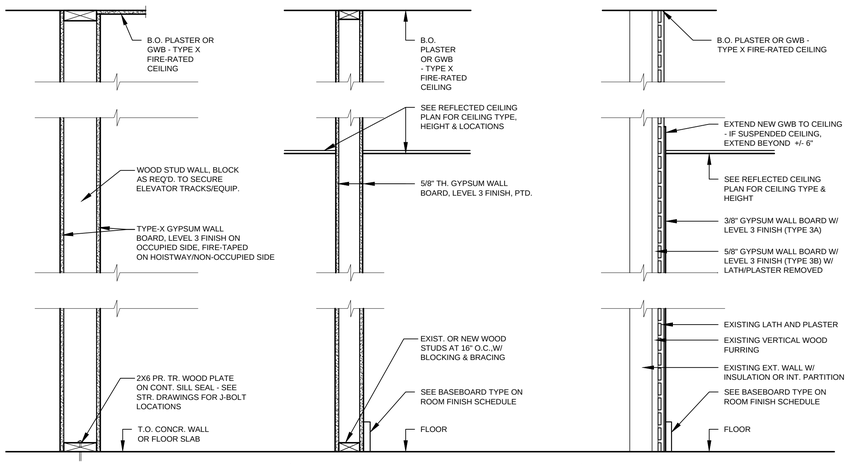


3 / A5.3 A.C.T./G.W.B./HORIZONTAL CHASE DETAIL
SCALE: 3" = 1'-0"









1A 2X6 WOOD STUD STAIR/ELEVATOR WALL W/ 1- HOUR FIRE RATING - UL U305

1B 2X4 WOOD STUD WALL W/ 1- HOUR FIRE RATING - UL U305

2A NEW 2X4 WOOD-FRAMED, INTERIOR PARTITION WALL W/ 5/8" GWB ON EA. SIDE, LEVEL 3 FINISH

2B NEW 2X4 WOOD-FRAMED, INTERIOR PARTITION WALL (PARTIAL HEIGHT-42" ABOVE FLOOR OR TREAD NOSING,) W/ 5/8" TH. GWB LEVEL 4 FIN. EA.SIDE

2C NEW 2X6 WOOD-FRAMED, INTERIOR PARTITION WALL W/ R-21 ROCKWOOL BATT INSULATION 5/8" TH. GWB LEVEL 1 FIN. ON INT. SIDE

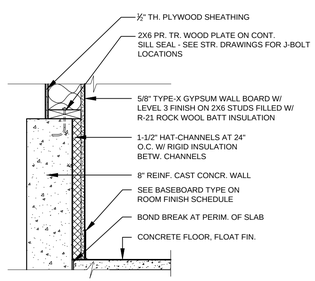
2D NEW 2X3 WOOD-FRAMED, INTERIOR PARTITION WALL W/ 5/8" TH. GWB LEVEL 3 FIN. ON OCCUPIED ROOM SIDE ONLY 2

3A EXIST. EXT. WALL W/ NEW 3/8" TH. GWB APPLIED OVER EXIST. PLASTER, LEVEL 3 FINISH

3B EXIST. EXT. WALL W/ NEW 5/8" TH. GWB APPLIED OVER EXIST. WOOD STUDS, LEVEL 3 FINISH

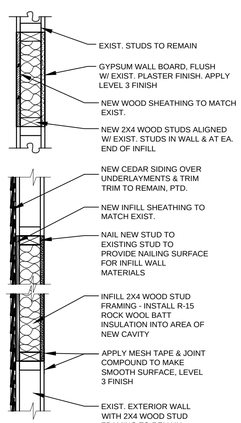
3C EXIST. EXT. WALL W/ LATH/PLASTER REMOVED, INSTALL R-15 ROCK WOOL BATT INSULATION BETWEEN STUDS. INSTALL 2 LAYERS OF ½ " TH. GWB APPLIED OVER EXIST. WOOD STUDS. , LEVEL 3 FINISH

4 / A5.3 WALL TYPES
SCALE: 1" = 1'-0"



4 CONC. FND. WALL AT BASEMENT

NOTE: **ADD-ALT. #2** SHALL INCLUDE REINF. CAST CONCRETE RETAINING WALL ONLY



5A **WALL A/C INFILL:**
NEW 2X4 WOOD-FRAMED EXTERIOR INFILL WALL W/ GWB PATCH ON INT. SIDE FLUSH W/ EXIST. PLASTER OR DRYWALL, LEVEL 3 FINISH. INFILL SHEATHING BOARDS TO MATCH EXIST. & R-15 ROCK WOOL BATT INSULATION

5B **WALL A/C INFILL - ROOMS 115/116:**
NEW 2X4 WOOD-FRAMED EXTERIOR INFILL WALL W/ LATH/PLASTER REMOVED. INSTALL 2-LAYERS OF ½" TH. GWB ON INT. SIDE, LEVEL 3 FINISH (SEE TYPE 3C), INFILL SHEATHING BOARDS TO MATCH EXIST. & R-15 ROCK WOOL BATT INSULATION

FINISH SCHEDULE

	ROOM #	ROOM NAME	APPROX. ROOM DIMENSIONS W/XL	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	CEILING	HEIGHT	FLOOR	BASE TYPE	BASE FIN.	CASING TYPE	CASING FIN.	PIC. RAIL FINISH	CHR.RAIL FINISH	COMMENTS
BSMT	000	LOBBY	7'-6"X13'-3"	1A	2A	1A	1A	7	8'-0"-12'-0"	5A/5B	5	-	C	4B	-	4B	BEADED BD. WAINSCOT UP W, S, E WALLS TO 4' A.F.F.- 4B
	002	LULA MACHINE ROOM	5'-6"X6'-7"	1C	1C	1C	1C	1C	6'-6"	CS	4	-	-/-		-	-	
FIRST FLOOR	101	ENTRY LOBBY	11'-0"X17'-7"	2A	2A	2A	2A	2D	9'-4"	3A	1	4A	A	4A	4A	4A	
	102	STORAGE/SAFE	3'-2"X5'-0"	2A	2A	2A	2A	2C	SLOPED	3A	1	4A	C	4A	-	-	
	103	EXHIBIT SPACE	16'-0"X18'-6"	2B	2B	2B	2B	1B 2	9'-4"	3A	1	4B	A	4A/B	4B	4B	
	104	EXHIBIT SPACE	13'-0"X13'-7"	2B	2B	2B	2B	1B	9'-4"	3A	1	4B	A	4B	4B	-	
	105	TOILET ROOM NORTH	6'-3"X10'-0"	2A	2A	1A	1A	2C	9'-4"	5A	2B	4A	B	4A	-	4B	BEADED BD. WAINSCOT UP ALL WALLS, SEE A5.4 - 4B
1	106	TOILET ROOM SOUTH	6'-4"X10'-0"	1A	2A	1A	1A	2C	9'-4"	5A	2B	4A	B	4A	-	4B	BEADED BD. WAINSCOT UP ALL WALLS, SEE A5.4 - 4B
	106B	JANITOR'S CLOSET	3'-6"X10'-0"	1A	2A	2A	1A	2C	9'-4"	5A	4	-	B	4A	-	-	
	107	STAIR LOBBY	8'-6"X7'-3"	1A	2A	2A	1A	2C	8'-4"	5A	2B	4A	A	4A	-	-	
	107B	ELEVATOR LOBBY	6'-0"X8'-7"	1A	1A	1A	1A	1B	8'-4"	5A	2B	4A	A	4A	-	-	2
	108	GALLERY	19'-1"X20'-2"	2A	2A	2A	2A	2C	9'-4"	3A	1	4A	A	4A	4A	4A	
	111	EXHIBIT SPACE	13'-6"X20'-2"	2B	2B	2B	1A/2B	2D 2	9'-4"	3A	1	4A	A	4A/B	4B	-	
	111B	VIDEO ROOM	9'-11"X14'-7"	2B	2B	2B	1A	7	8'-4"	3A/6	2A	4B	A	4A	4B	-	
	111C	PASSAGE	9'-11"X14'-7"	2B	1A	1A	2B	1B	8'-4"	3A	1	4B	A	4A/B	4B	-	
	111D	RAMP	9'-11"X14'-7"	1A	2B	2B	-	2D	8'-4"	5A	2A	4B*	A	4A/B	-	-	EXIST. BASEBD. MAY EXIST. - SALVAGE/RESTORE
	113	ARCHIVE CORRIDOR	26'-10"X3'-6"	2B	2B	1A	1A	1B 2	8'-0"/VARIES	5A	3	4B*	A	4A	-	-	
	114	ARCHIVES OFFICE	15'-6"X13'-10"	2B	2B	2B	2B	2D	8'-0"	3A	3	4B*	A	4A	4B	-	
	115	COL. STORAGE	12'-0"X9'-10"	1A	1A	1A	1A	1B	8'-0"	5A	4	-	-		-	-	
	116	COL. STORAGE	14'-0"X14'-0"	1A	1A	1A	1A	1B	8'-0"	5A	4	-	-		-	-	
	117	TENANT RECEPTION	16'-2"X11'-4"	1A	2A	1A	1A	7	8'-0"	5A	4	-	C	4A/B	-	-	
	118	OFFICE	12'-2"X8'-0"	2A	2A	2A	1A	1B	8'-0"	5A	4	-	C	4A/B	-	-	
	119A	FOYER	7'-8"X5'-10"	1A	2A	1A	1A	7	8'-0"	5A	5	-	C	4A/B	-	-	
	120	TOILET	6'-4"X8'-3"	1A	1A	1A	2A	7	8'-0"	5A	4	-	C	4A/B	-	4B	BEADED BD. WAINSCOT UP ALL WALLS, SEE A5.4 - 4B
	121	COPY ROOM	5'-0"X8'-3"	1A	1A	2A	2A	1B	8'-0"	5A	4	-	C	4A/B	-	-	
	122	OFFICE	12'-2"X8'-3"	2A	1A	2A	2A	1B	8'-0"	5A	4	-	C	4A/B	-	-	
	124	OFFICE	7'-6"X10'-5"	1A	1A	2A	1A	1B	8'-0"	5A	4	-	C	4A/B	-	-	
SECOND FLOOR	201	BREAK ROOM	7'-1"X13'-0"	-	-	-	-	-	-	-	-	-	-	-	-	-	
	202	STAIR HALL	8'-1"X13'-0"	2A	2A	2A	2A	2C	8'-11"	*/3A	1	4A	A	4A	4A	-	* OWNER TO INSTALL CARPET RUNNER
	203	EXHIBIT SPACE	14'-1"X13'-10"	2B	2B	2B	2B	2C	8'-11"	3A	2B	4B	A	4B	4A	-	
	204	STAFF TOILET	7'-7"X7'-8"	2A	2A	2A	2A	2C	8'-11"	5A	2A	4A	A	4A	-	4A	EXIST. BEADED BD. WAINSCOT - 4A
	205	EXHIBIT	10'-1"X12'-2"	1A/2A	2A	1A/2A	1A	1B 2	8'-11"/8'-0"	3A	2A	4A	A	4A	4A	-	
	206	OFFICE	9'-2"X13'-8"	1A/2A	2A	2A	1A	2C	8'-0"	3A	2A	4A	A	4A	4A	-	
	207	LOBBY	13'-10"X4'-10"	1A	1A	1A	1A	1B	8'-0"	3A	2A	4A	A	4A	-	-	
	208	CORRIDOR	27'-9"X3'-6"	2A	2A/2B	1A	1A/2A	1B	8'-4"/8'-0"	3A	2A	4A	A	4A	-	-	
	209	DR. TRUDEAU'S BEDRM.	18'-5"X20'-3"	2A	1A	1A/2A	2A	2D 2	8'-11"	3A	1	4A	A	4A	4B	-	
	210	STORAGE	7'-9"X7'-0"	1A	1A/2A	2A	2A	2C	8'-11"	3A	2A	4A	C	4A	-	-	
	211	STORAGE	5'-10"X5'-3"	2A	2A	2A	2A	2C	8'-11"	3A	ETR		C	4A	-	-	EXIST. BEADED BD. WAINSCOT - 4A
	212	PASSAGE	5'-10"X7'-1"	2B	1A 2	2B	2B	1B	8'-4"	3A	2B	4A/B	C	4B	-	-	
	212B	CLOSET	5'-10"X1'-9"	2B	2B	2B	1A	1B	8'-0"	3A	4	-	C	4B	-	-	
	213	MRS. TRUDEAU'S BED	17'-2"X20'-2"	2A	2A	2A	2A	2D	8'-11"	3A	1	4B	A	4A	4B	-	
	WCP	WEST CURE PORCH	17'-3"X9'-0"	4A	4A	4A	4A	G	8'-4"	3B	-	-	-		-	-	
	SCP	SOUTH CURE PORCH	5'-10"X9'-5"	4A	4A	4A	4A	A 2	VARIES	3B	-	-	-		-	-	

INTERIOR FINISH TYPES:

TYPE 1 - NEW GYPSUM WALL BOARD FINISH:
1A: USG LEVEL 4 FINISH ON NEW GWB - 3 SEPARATE COATS OF COMPOUND ON ALL JOINTS, FASTENERS & TRIM, SANDED SMOOTH, PRIME 1 COAT & PAINT 2 COATS, EGGSHELL FINISH - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE
1B: USG LEVEL 4 FINISH ON NEW GWB - SAME AS 1A EXCEPT FINISH PAINT IN "FLAT" SHEEN ON CEILING - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE
1C: USG LEVEL 1 FINISH ON NEW GWB - "FIRETAPE" ALL JOINTS & FASTENER HOLES ONE COAT, SMOOTH FINISH.

TYPE 2 - EXISTING PLASTER OR GWB FINISH:
2A: REPAIR FINISH ONTO EXISTING PLASTER/GWB - APPLY "PLASTERWELD" OVER CLEAN, STABLE PLASTER/GWB JOINTS. APPLY FIBERGLASS MESH TAPE OVER JOINTS BETWEEN INFILL GWB & PLASTER SURFACE AND/OR CRACKS CUT OUT TO STABLE MATERIAL. APPLY 3 COATS OF JOINT COMPOUND FOR SMOOTH FINISH. SAND SMOOTH, CLEAN, PRIME 1 COAT, FINISH PAINT 2 COATS IN EGGSHELL. - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE
2B: SAME AS 2A EXCEPT APPLY "PLASTERWELD" OVER ALL CLEAN/STABLE PLASTER SURFACES. APPLY FIBERGLASS MESH OVER ALL PLASTER SURFACES. APPLY 3 COATS OF JOINT COMPOUND FOR SMOOTH FINISH. SAND SMOOTH, CLEAN, PRIME 1 COAT, FINISH PAINT 2 COATS IN EGGSHELL - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE
2C: SAME AS 2A EXCEPT FINISH PAINT COATS IN "FLAT" SHEEN ON CEILING - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE
2D: SAME AS 2B EXCEPT FINISH PAINT COATS IN "FLAT" SHEEN ON CEILING - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE

TYPE 3 - FINISH ON EXISTING OR NEW WOOD FLOORS:
3A: SAND INTERIOR WOOD FLOORS SMOOTH, CLEAN & APPLY 3 COATS OF SATIN POLYURETHANE CLEAR FINISH PER COATING MANUF. INSTRUCTIONS
3B: CLEAN AND PRIME EXTERIOR WOOD FLOORS WITH OIL-BASED ALKYD PRIMER. APPLY 3 COATS OF LATEX FLOOR DECK PAINT - COLOR SELECTED BY OWNER FROM MANUF. FULL COLOR RANGE

TYPE 4 - FINISH ON INTERIOR WOOD TRIM:
4A: EXISTING WOOD TRIM: REMOVE LOOSE PAINT, SAND SMOOTH. CLEAN, PRIME 1 COAT W/ LEAD-ENCAPSULANT PAINT & APPLY FINISH PAINT 2 COATS
4B: NEW WOOD TRIM: SAND SMOOTH, CLEAN, PRIME 1 COAT & APPLY FINISH PAINT - 2 COATS 2

TYPE 5 - RESILIENT FLOORING
5A: RUBBER FLOOR TILE - FULLY ADHERED FLOOR TILE ONTO SMOOTH UNDERLAYMENT SUBSTRATE (FLASH-PATCH EXIST. SUBSTRATE PRIOR TO CARPET TILE INSTALLATION)
5B: RUBBER TREAD COVER - FULLY ADHERED TREAD COVER ONTO WOOD TREAD

TYPE 6 - CARPET TILE FLOORING: FULLY ADHERED CARPET TILE ON PREPARED PLYWOOD SUBSTRATE (FLASH-PATCH EXIST. SUBSTRATE PRIOR TO CARPET TILE INSTALLATION)

TYPE 7 - ACOUSTIC CEILING TILE: 2'X2' METAL GRID SUSPENDED CEILING TILE

TYPE 8 - FINISH ON INTERIOR STEEL DOORS & FRAMES
8A: FACTORY PRIMED ONLY
8B: 2 COATS OF LATEX ENAMEL OVER FACTORY PRIMED SURFACES

CS: CONCRETE SLAB, FLOAT FINISH

EXTERIOR FINISH TYPES:

TYPE A: 2 COATS OF EXTERIOR LATEX OVER ONE COAT OF OIL-BASED PRIMER ON TRIM, SASH & STORM WINDOWS

TYPE B: 2 COATS OF EXTERIOR LATEX OVER ONE COAT OF OIL-BASED PRIMER ON CLAPBOARDS

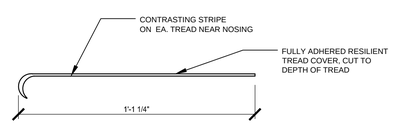
TYPE C: 2 COATS OF OIL-BASED ENAMEL OVER 1 COAT OF OIL-BASED PRIMER ON METAL GRILLE

TYPE D: 2 COATS OF OIL-BASED ENAMEL OVER 1 COAT OF OIL-BASED PRIMER ON METAL HAND RAILS

TYPE E: 2 COATS OF LATEX MASONRY PAINT ON CONCRETE OR CONCRETE BLOCK SUBSTRATE

TYPE F: 2 COATS OF LATEX DECK ENAMEL OVER ONE COAT OF OIL-BASED PRIMER ON EXISTING OR NEW WOOD DECKING

TYPE G: 3 COATS OF OIL-BASED POLYURETHANE CLEAR FINISH OVER NEW BEADED BOARD CEILING



5 / A5.3 STAIR TREAD COVER DETAIL
SCALE: 3" = 1'-0"

ARCHITECT OF RECORD
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ALBANY, NEW YORK 12208
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CONSULTANT

SIGNED/STAMPED

PROJECT TITLE

TRUDEAU HOUSE MUSEUM
RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

BID SET

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
1-24-23	ADDENDUM	#1
2-03-23	ADDENDUM	#2

SHEET TITLE
FINISH SCHEDULE
WALL TYPES

SCALE
AS-NOTED

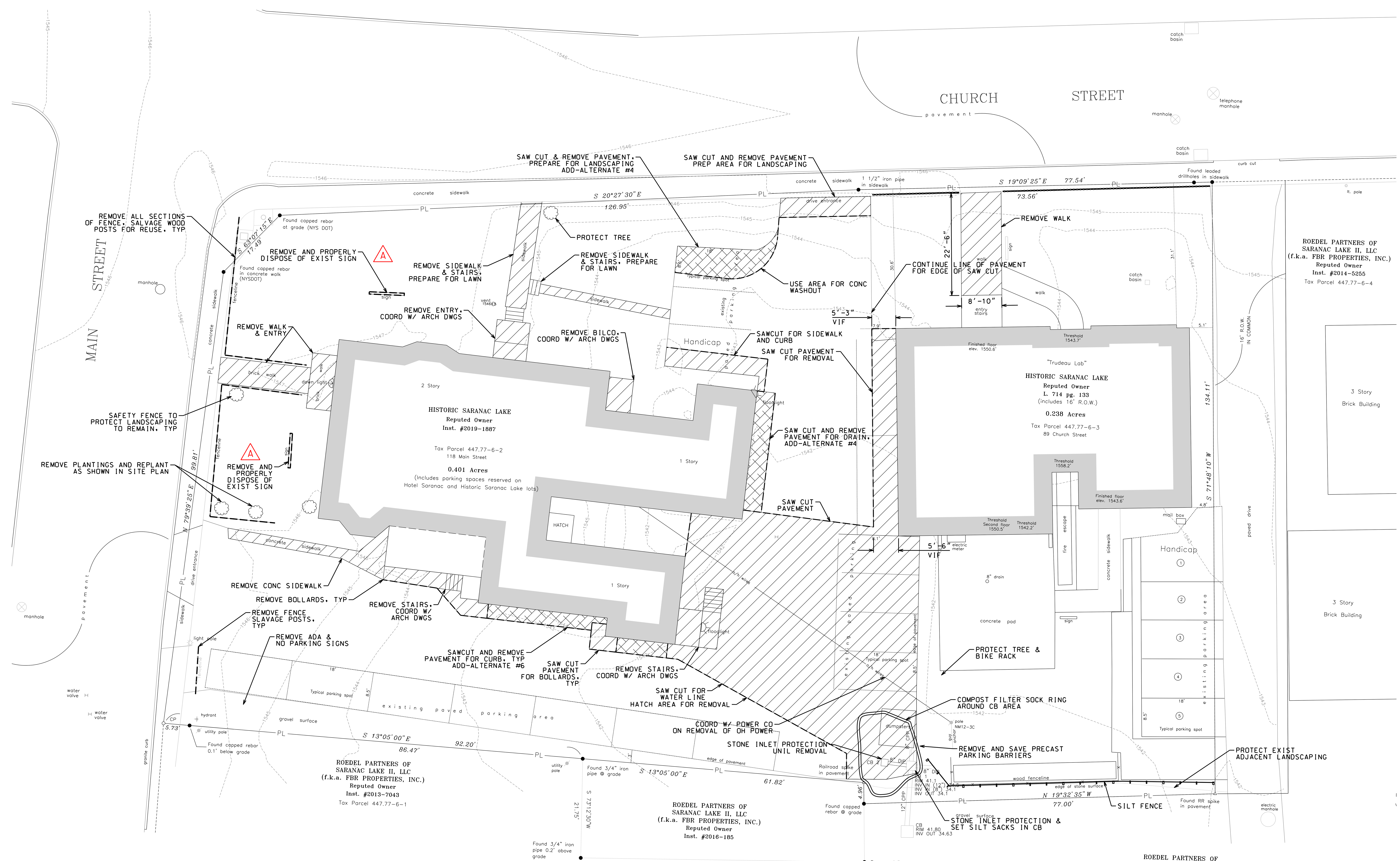
DRAWN
JA

DATE
12/16/22

PROJECT NUMBER
2103

SHEET NUMBER
A5.3

BID SET



LEGEND

BASE BID REMOVAL

ADD-ALTERNATE REMOVAL (AS NOTED)

SITE DEMO PLAN

1"=10'

ARCHITECT OF RECORD

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New York State Certified Service-Disabled Veteran-Owned Business

SIGNED/STAMPED

STATE OF NEW YORK — JOSEPH A. GARSO — 075492 — LICENSED PROFESSIONAL ENGINEER

PROJECT TITLE

TRUDEAU HOUSE MUSEUM RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

CONSTRUCTION DOCUMENTS FOR TAX CREDIT REVIEW

MAKING HISTORY MATTER — HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
02.03.23	ADDENDUM #2	A

SHEET TITLE: SITE DEMO PLAN

SCALE: 1" = 10'

DRAWN: JA GARSO

DATE: 12.16.22

PROJECT NUMBER: 21-059

SHEET NUMBER: C01

ADD-ALTERNATE #4

ADD-ALTERNATE #4 SHALL INCLUDE THE WORK ITEMS BELOW:

1. SAWCUT AND REMOVAL OF EXISTING PAVEMENT IN THE EAST PARKING AREA. SEE DEMO PLAN. RESTORE AREA TO LAWN.
2. INSTALLATION OF 4" FOOTING DRAIN CONNECTION BETWEEN NORTH PORTICO DRAIN AND EAST PORCH DRAIN AND 4" FOOTING DRAIN CONNECTION BETWEEN EAST PORCH DRAIN AND 8" STORM LINE TO RAIN GARDEN. SEE UTILITY PLAN.
3. INSTALLATION OF PAVEMENT AND SUBBASE ALONG CURB AND AS REQUIRED TO REPAIR EXCAVATIONS. TOPPING COURSE OVER EAST PARKING AREA.
4. ASSOCIATED MINOR AND ANCILLARY WORK TO PROVIDE FULL COMPLETE INSTALLATION.

ADD-ALTERNATE #5

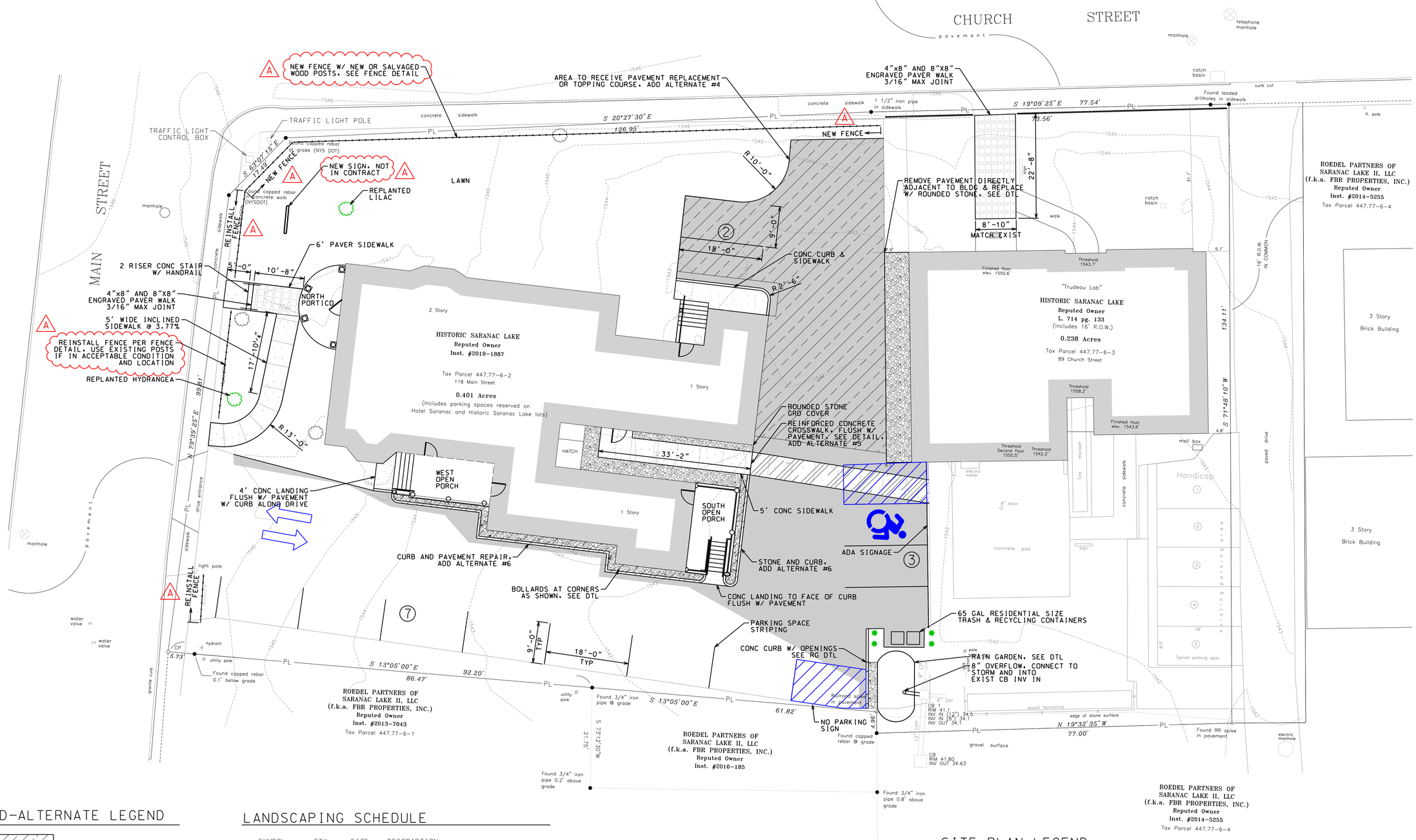
ADD-ALTERNATE #5 SHALL INCLUDE THE WORK ITEMS BELOW:

1. INSTALLATION OF 5' REINFORCED CONCRETE CROSSWALK. CROSSWALK TO BE FLUSH WITH PAVEMENT. EXCAVATION AND PLACEMENT OF SUBBASE AS REQUIRED. SEE CONCRETE CROSSWALK DETAIL.
2. OTHER MINOR AND ANCILLARY WORK TO PROVIDE A COMPLETE INSTALLATION.

ADD-ALTERNATE #6

ADD-ALTERNATE #6 SHALL INCLUDE THE WORK ITEMS BELOW:

1. SAWCUT AND REMOVAL OF PAVEMENT ALONG SOUTHWEST SIDE OF BUILDING FOR INSTALLATION OF FOOTING DRAIN. CURB. AND STONE. SEE DEMO PLAN.
2. INSTALLATION OF 4' FOOTING DRAIN ALONG SW SIDE OF BUILDING FROM WEST PORCH TO 8" STORM LINE TO RAIN GARDEN. SEE UTILITY PLAN.
3. INSTALLATION OF CURB. STONE COVER ALONG BUILDING. AND PAVEMENT REPAIR ALONG CURB.
4. OTHER MINOR AND ANCILLARY WORK TO PROVIDE FULL AND COMPLETE INSTALLATION.



ADD-ALTERNATE LEGEND

- ADD-ALTERNATE #4 WORK
- ADD-ALTERNATE #5 WORK
- ADD-ALTERNATE #6 WORK

LANDSCAPING SCHEDULE

SYMBOL	QTY	SIZE	DESCRIPTION
*	4	2'-3'	ARBORVITAE

NOTE: FOR RAIN GARDEN PLANTS, REFER TO DETAIL

SITE PLAN

1"=10'

10' 0 10' 20'

SITE PLAN LEGEND

- PAVEMENT REPLACEMENT OR TOPPING COURSE
- ROUNDED STONE GROUND COVER
- CONCRETE SIDEWALK

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New York State Certified Service-Disabled Veteran-Owned Business

SIGNED/STAMPED

STATE OF NEW YORK JOSEPH A. GARSO 075492 LICENSED PROFESSIONAL ENGINEER

PROJECT TITLE

TRUDEAU HOUSE MUSEUM RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

CONSTRUCTION DOCUMENTS FOR TAX CREDIT REVIEW

MAKING HISTORY MATTER HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
02.03.23	ADDENDUM #2	A

SHEET TITLE
SITE AND LANDSCAPE PLAN

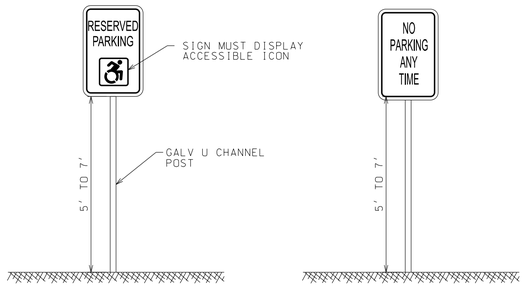
SCALE
1" = 10'

DRAWN
JA GARSO

DATE
12.16.22

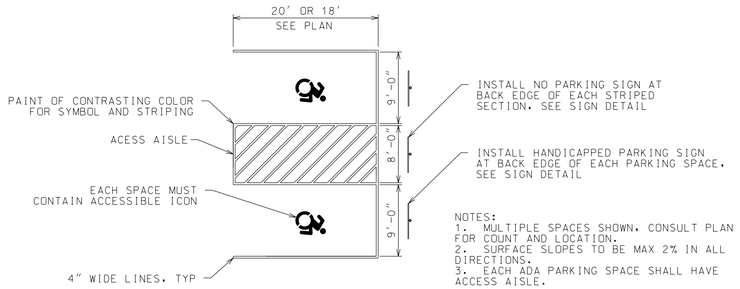
PROJECT NUMBER
21-059

SHEET NUMBER
C10



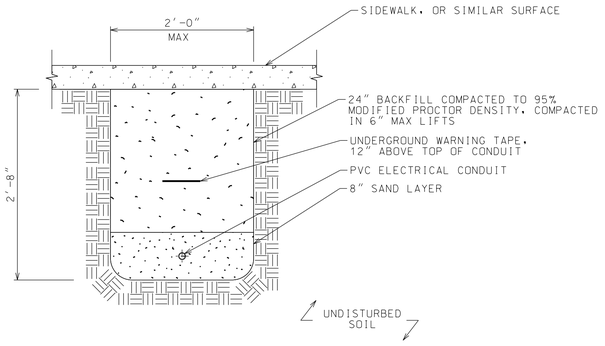
SIGN DETAILS

NOTE: SIGNS MAY BE MOUNTED ON STRUCTURE IF APPROVED BY THE ENGINEER.



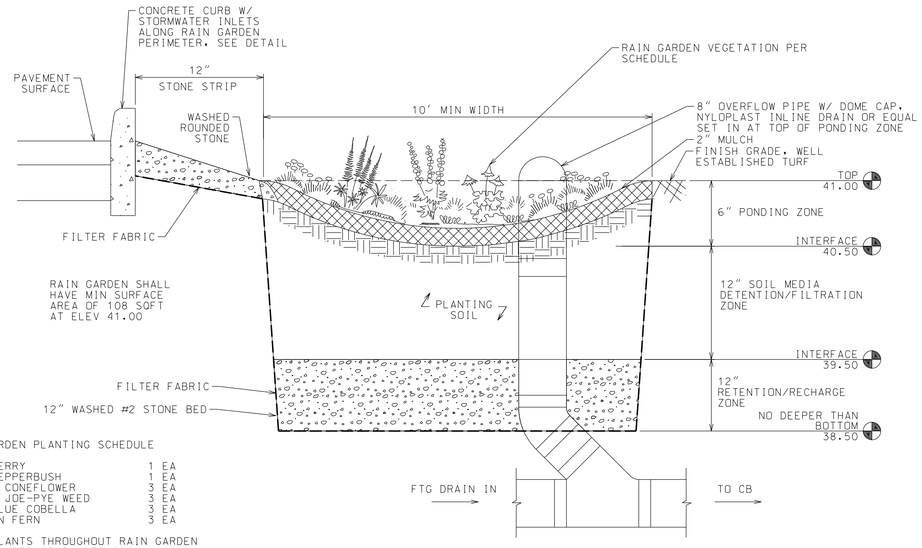
ACCESSIBLE PARKING SPACE DETAILS

NTS



ELECTRICAL CONDUIT DETAIL

NTS



RAIN GARDEN PLANTING SCHEDULE

WINTERBERRY	1 EA
SWEET PEPPERBUSH	1 EA
CUTLEAF CONEFLOWER	3 EA
SPOTTED JOE-PYE WEED	3 EA
GREAT BLUE COBELLA	3 EA
CINNAMON FERN	3 EA

- MIX PLANTS THROUGHOUT RAIN GARDEN
- MIN NUMBER OF PLANTS SHOWN. ADDITIONAL PLANTS MAY BE ADDED
- SUBSTITUTION PLANTS MAYBE USED, BUT ONLY IF ON TABLE 5.11, SUGGESTED RAIN GARDEN PLANT LIST, IN THE NYS STORMWATER MANAGEMENT DESIGN MANUAL
- STEPPING STONES MAY BE PLACED ON THE SURFACE OF THE RAIN GARDEN TO ACCESS PLANTS FOR MAINTENANCE

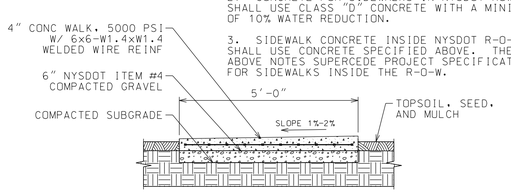
RAIN GARDEN DETAIL

NTS

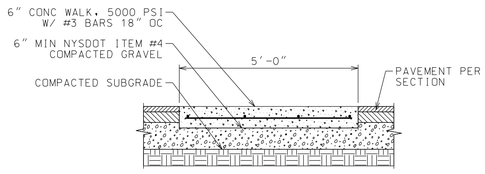
NOTES:
1. SLOPE AWAY FROM BLDG.

2. CONCRETE FOR SIDEWALKS IN NYSDOT ROW SHALL USE CLASS "D" CONCRETE WITH A MINIMUM OF 10% WATER REDUCTION.

3. SIDEWALK CONCRETE INSIDE NYSDOT R-O-W SHALL USE CONCRETE SPECIFIED ABOVE. THE ABOVE NOTES SUPERCEDE PROJECT SPECIFICATIONS FOR SIDEWALKS INSIDE THE R-O-W.



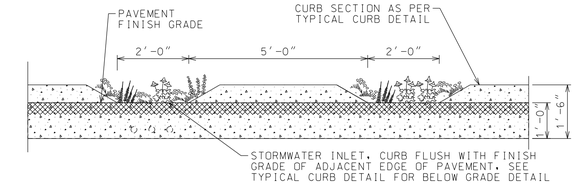
TYPICAL SECTION



CROSSWALK SECTION

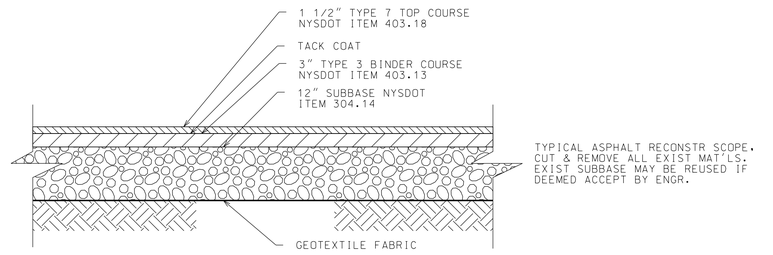
CONCRETE SIDEWALK

NTS



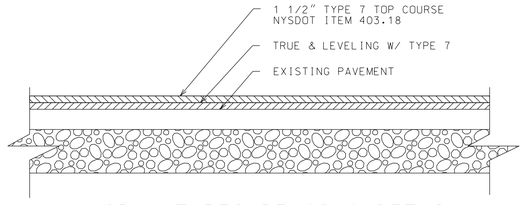
CURB STORMWATER INLET

NTS



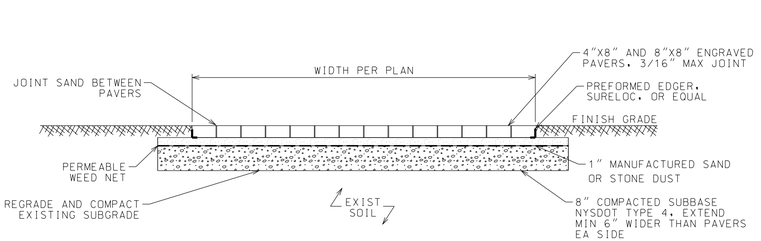
NEW ASPHALT PAVEMENT DETAIL

NTS



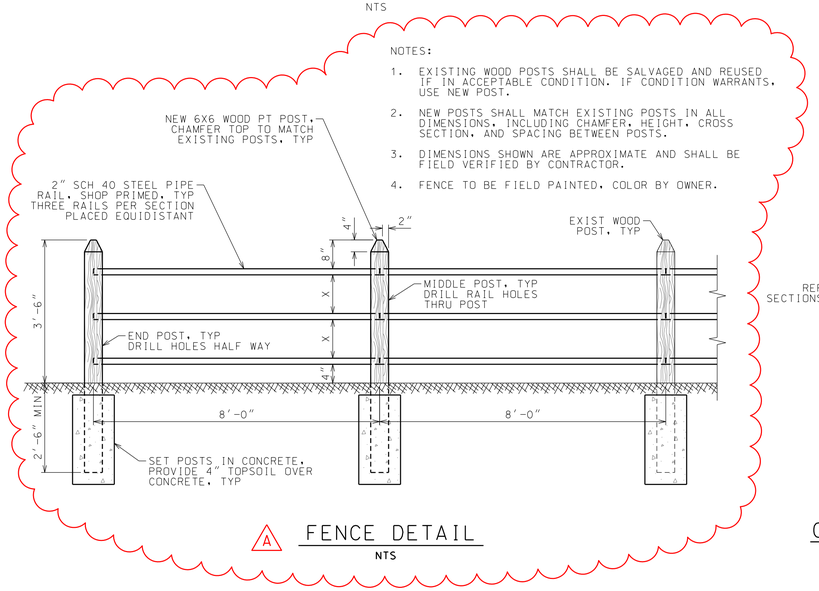
ASPHALT RESURFACING DETAIL

NTS



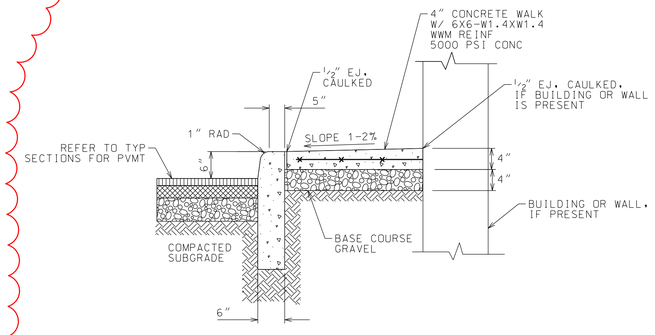
PAVER WALK DETAIL

NTS



A FENCE DETAIL

NTS



CONCRETE WALK, PAVING AND CURB DETAIL

NTS

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118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

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CONSTRUCTION DOCUMENTS FOR TAX CREDIT REVIEW

MAKING HISTORY MATTER HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
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SHEET TITLE
SITE DETAILS

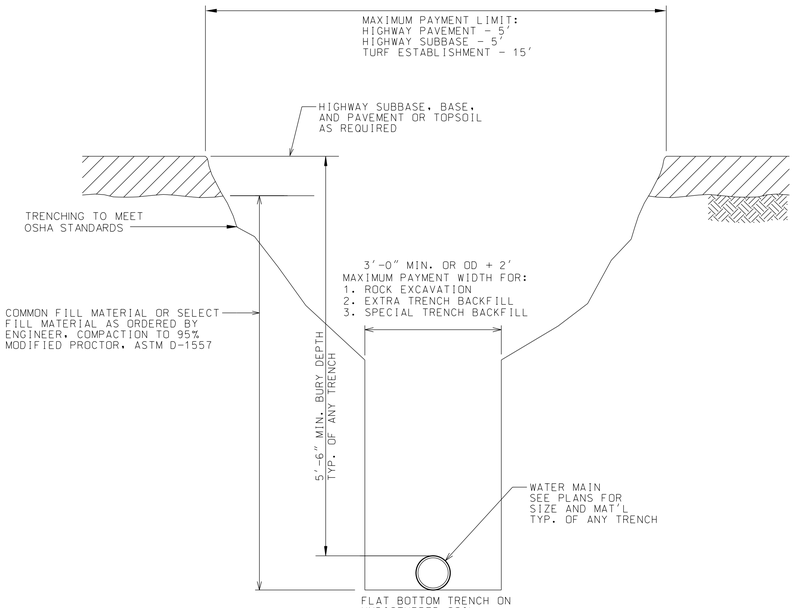
SCALE
AS NOTED

DRAWN
JA GARSO

DATE
12.16.22

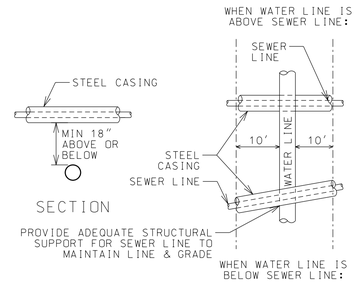
PROJECT NUMBER
21-059

SHEET NUMBER
C32



NOTES:
1) LAYING CONDITIONS AS PER AWWA C600.
2) TRENCHES DEEPER THAN 4' MUST BE DUG IAW OSHA REGULATIONS.
3) FOR OTHER SURFACE AREAS SEE PLAN SHEET.
4) ENGINEER WILL DIRECT TYPE OF TRENCH BASED UPON SITE CONDITIONS.

WATER TRENCH SECTION
NTS



NOTES:
1. MIN 18" VERTICAL DISTANCE BETWEEN OUTSIDE OF WATER LINE AND OUTSIDE OF SEWER LINE, EITHER ABOVE OR BELOW.

2. SEWER LINE SHALL BE ENCASED IN A STEEL CASING WHICH EXTENDS MIN 10' ON BOTH SIDES OF CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE.

3. SEWER LINE JOINTS SHALL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM WATER LINE JOINTS. A FULL LENGTH OF PIPE SHALL BE CENTERED ON THE CROSSING LOCATION.

4. WHERE WATER LINE CROSSES UNDER SEWER LINE, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER LINE TO MAINTAIN LINE & GRADE.

5. IF 18" SEPARATION DISTANCE CAN NOT BE MET, SEWER LINE PIPE AT CROSSING SHALL BE PRESSURE RATED, AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

WATER AND SEWER LINE CROSSING DETAIL
NTS

WATER SYSTEM MATERIAL NOTES

1. ALL PIPE SHALL BE DUCTILE IRON CLASS 52 CONFORMING TO CURRENT ANSI/AWWA C151/A21.51.
2. PUSH-ON JOINT ACCESSORIES SHALL CONFORM TO CURRENT ANSI/AWWA C111/A21.11. PUSH ON PIPE MAY BE DEFLECTED A MAXIMUM OF 5. USE MECHANICAL FITTINGS IF A GREATER DEFLECTION IS REQUIRED.
3. PIPING SHALL BE CEMENT MORTAR LINED IN ACCORDANCE WITH CURRENT ANSI A21.4.
4. FITTINGS SHALL BE DUCTILE IRON CONFORMING TO CURRENT ANSI/AWWA C110/ A21.10. 350 PSI WORKING PRESSURE.
5. MECHANICAL JOINT FITTINGS SHALL HAVE MEGA-LUG GLANDS.
6. BOLTS AND NUTS SHALL CONFORM TO CURRENT ANSI/AWWA C111/A21.11.
7. GATE VALVES SHALL BE MUELLER AND CONFORM TO CURRENT AWWA C509.
8. VALVE BOXES SHALL BE CAST IRON NEW ENGLAND SLIDE TYPE ONLY. 5¼ INCH SHAFT. 6 FOOT TRENCH DEPTH.
9. CORPORATIONS AND CURB STOPS SHALL BE BY MUELLER AND MANUFACTURED IN ACCORDANCE WITH AWWA C800. CURB BOXES SHALL BE ERIE STYLE SERVICE BOX BY EJ PRESCOTT.
10. COPPER TUBING SHALL BE TYPE K, SOFT TEMPER, CONFORMING TO CURRENT ASTM B88.
11. DRESSER COUPLINGS SHALL BE RATED FOR AT LEAST 1.5 TIMES THE SYSTEM HYDROSTATIC TEST PRESSURE.
12. HYDRANTS SHALL BE MUELLER AND CONFORM TO CURRENT AWWA C502.
13. PRIMARY AND SECONDARY THRUST RESTRAINT IS REQUIRED FOR ALL MECHANICAL FITTINGS.
14. INSTALL CONDUCTIVITY WEDGES AT ALL JOINTS.
15. INSTALLED PIPING SHALL BE PLUGGED WITH A WATERTIGHT PLUG DURING WET CONDITIONS AND AT THE END OF EACH WORK DAY.
16. PIPE SHALL NOT BE INSTALLED IN WET CONDITIONS, DEWATER AS NECESSARY TO PROVIDE DRY WORKING CONDITIONS.

A

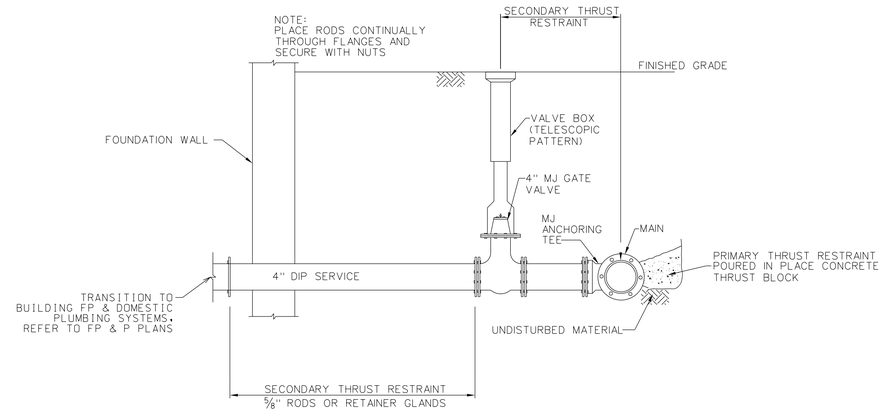
PRESSURE TEST NOTES

1. NOTIFY ENGINEER (518-891-4975) AND VSL DPW 24 HRS BEFORE STARTING TESTING. FAILURE TO PROVIDE SPECIFIED NOTIFICATION SHALL CONSTITUTE A FAILED TEST.
2. ALL WATER REQUIRED FOR TESTING SHALL BE POTABLE.
3. PRESSURE TEST SHALL BE IN ACCORDANCE WITH AWWA STANDARD C600/C605 FOR MAINS.
4. CONTRACTOR SHALL DEVELOP AND MAINTAIN FOR TWO HOURS 150% OF THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. FAILURE TO HOLD WITHIN 5 PSI OF THE DESIGNATED PRESSURE FOR THE TWO HOUR PERIOD CONSTITUTES A FAILURE OF THE SECTION TESTED.
5. MAXIMUM LENGTH OF PIPE TO BE TESTED AT ONE TIME SHALL NOT EXCEED 1000' IN LENGTH.
6. NO PIPE INSTALLATION SHALL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULAS (WHICHEVER IS LESS):

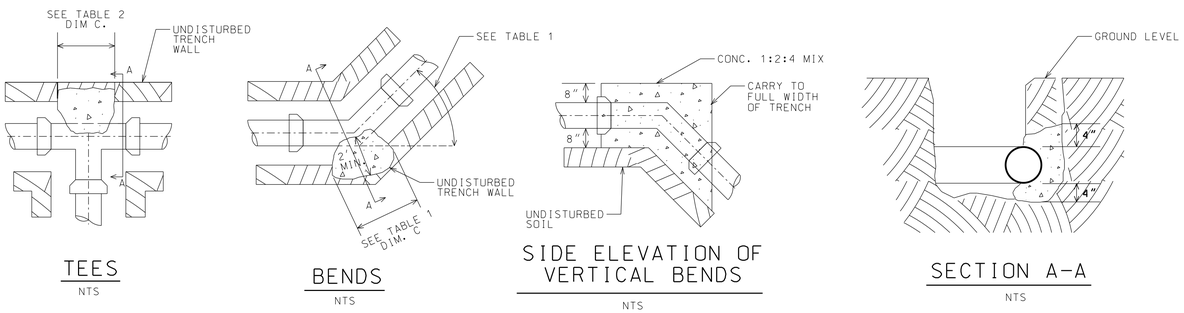
$$L = \frac{SD(P)^{0.5}}{133200} \qquad L = \frac{ND(P)^{0.5}}{7400}$$

S = LENGTH OF PIPE TESTING
L = ALLOWABLE LEAKAGE IN GAL/HR
D = NOMINAL DIAMTER OF PIPE (INCHES)
P = AVERAGE TEST PRESSURE (PSI)
N = NUMBER OF JOINTS IN THE PIPELINE TESTED

7. CORRECT DEFECTIVE WORK AND MATERIALS AND RETEST UNTIL SATISFACTORY TEST RESULTS ARE ACHIEVED.
8. IF WATER SERVICE, USE STATIC PRESSURE AND HOLD FOR 15 MINUTES. FOLLOW NOTE 7 IF NEEDED.



4" WATER SERVICE DETAIL
NTS



PLAN OF PLUG
NTS

PLAN OF CAP
NTS

BRANCH WYES AND PLUGS
NTS

TEES
NTS

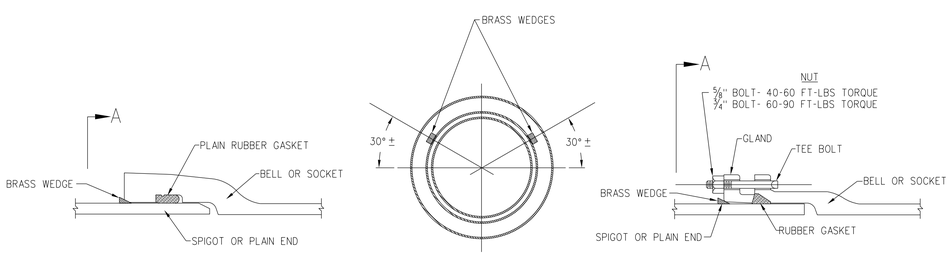
BENDS
NTS

SIDE ELEVATION OF VERTICAL BENDS
NTS

SECTION A-A
NTS

TABLE 1								
PIPE DIAM. INCHES	∠22.5 DEG.		22.5 ∠ = 45 DEG.		45 ∠ = 67.5 DEG.		≥67.5 DEG.	
	C FT.-IN.	CONC. C.Y.	C FT.-IN.	CONC. C.Y.	C FT.-IN.	CONC. C.Y.	C FT.-IN.	CONC. C.Y.
6 & SM.	0-4	.03	0-8	.07	1-0	.10	1-3	.14
8	0-6	.07	0-11	.14	1-3	.21	1-10	.28
10	0-8	.11	1-4	.22	1-11	.33	2-9	.44
12	0-11	.16	1-10	.32	2-6	.46	3-7	.64
15	1-3	.23	2-6	.45	3-3	.68	5-0	.90
16	1-4	.25	2-9	.50	3-6	.75	5-5	1.00
18	1-7	.33	3-2	.67	4-5	1.00	6-4	1.33

TABLE 2			
PIPE DIAM. INCHES	C FT.-IN.	C.Y. OF CONCRETE	
		TEES & PLUGS	WYES
6 & SM.	0-9	.06	.13
8	1-2	.18	.25
10	1-9	.30	.42
12	2-2	.39	.55
14	3-0	.65	.88
16	3-3	.70	.98
18	3-10	.89	1.24



PUSH-ON JOINT (P.J.) | SECTION A | MECHANICAL JOINT (M.J.)

NOTE: 1. BRASS WEDGES NOT NEEDED WHEN RETAINER GLAND USED AT JOINT.

TYPICAL JOINT CONDUCTIVITY DETAIL
SCALE: NONE

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SHEET TITLE
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SCALE
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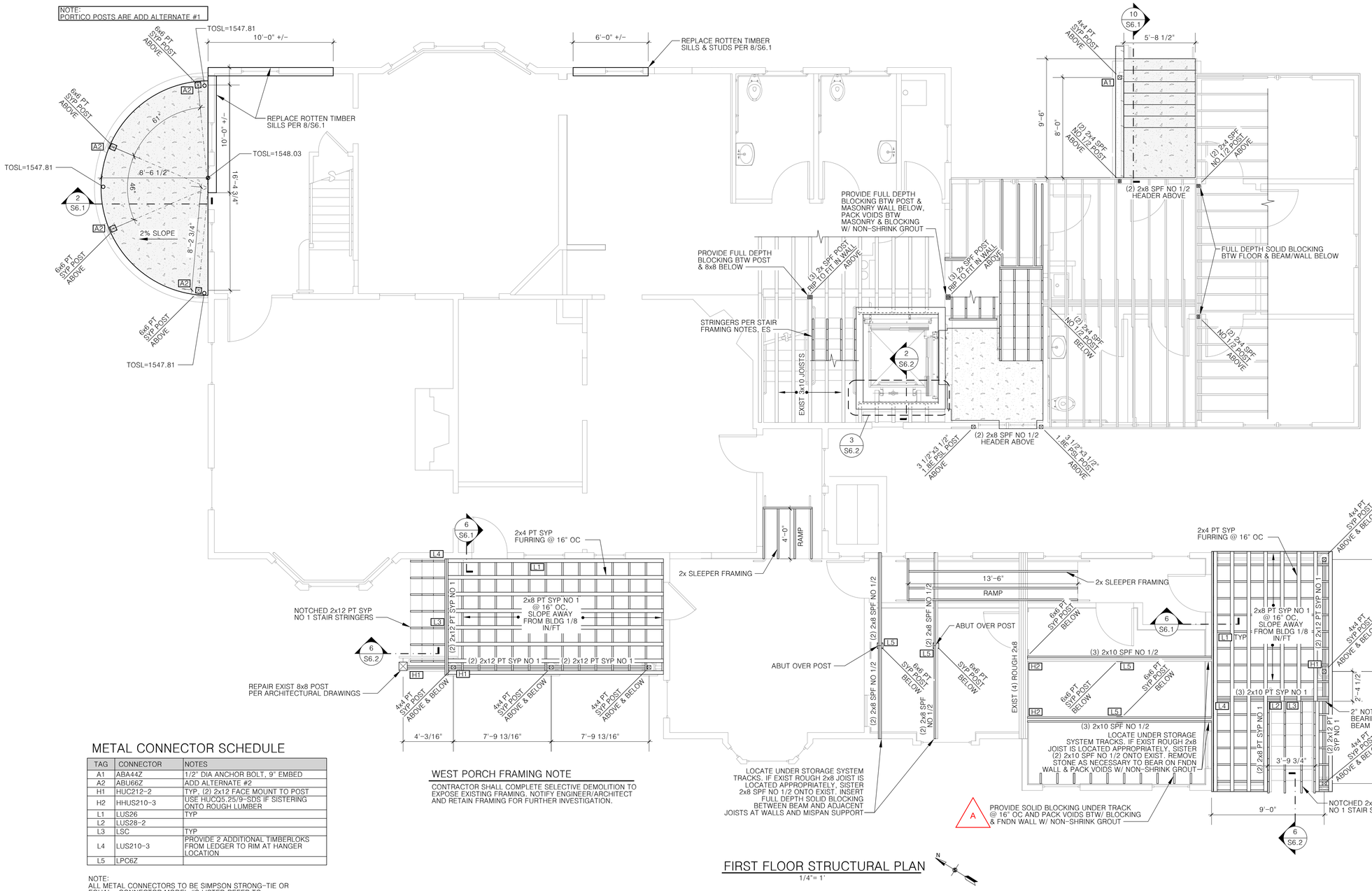

WEST PORCH FRAMING NOTE

CONTRACTOR SHALL COMPLETE SELECTIVE DEMOLITION TO EXPOSE EXISTING FRAMING. NOTIFY ENGINEER/ARCHITECT AND RETAIN FRAMING FOR FURTHER INVESTIGATION.

METAL CONNECTOR SCHEDULE

TAG	CONNECTOR	NOTES
A1	ABA44Z	1/2" DIA ANCHOR BOLT, 9" EMBED
A2	ABU66Z	ADD ALTERNATE #2
H1	HUC212-2	TYP, (2) 2x12 FACE MOUNT TO POST
H2	HHUS210-3	USE HUC105.25/9-SDS IF SISTERING ONTO ROUGH LUMBER
L1	LUS26	TYP
L2	LUS28-2	
L3	LSC	TYP
L4	LUS210-3	PROVIDE 2 ADDITIONAL TIMBERLOKS FROM LEDGER TO RIM AT HANGER LOCATION
L5	LPC6Z	

NOTE:
ALL METAL CONNECTORS TO BE SIMPSON STRONG-TIE OR EQUAL. CONNECTOR MODEL #S LISTED REFER TO SIMPSON STRONG-TIE CONNECTORS.

FIRST FLOOR STRUCTURAL PLAN

1/4"= 1'

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STATE OF NEW YORK
TIMOTHY JOSEPH NORTHRUP
090969
LICENSED PROFESSIONAL ENGINEER
02/03/2023

PROJECT TITLE

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118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

CONSTRUCTION DOCUMENTS
FOR
BIDDING

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
12-16-22	BID	
2-3-23	ADDENDUM 2	#1

SHEET TITLE
FIRST FLOOR STRUCTURAL PLAN

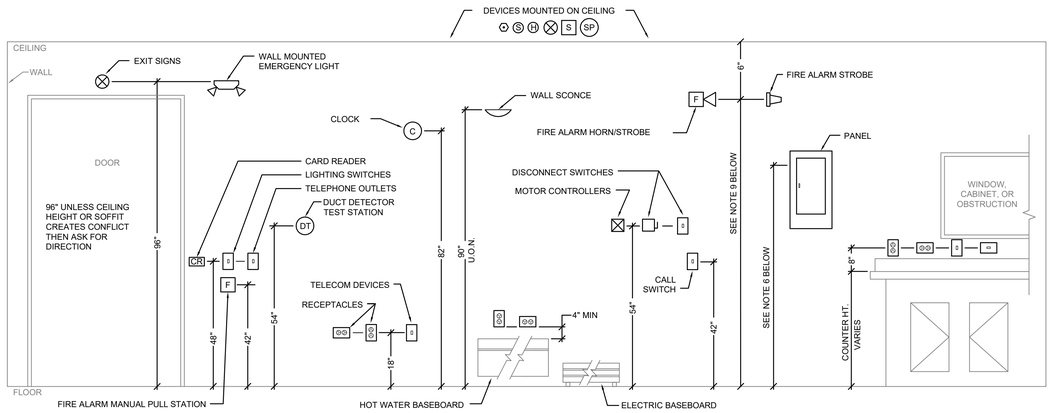
SCALE
AS NOTED

DRAWN
BMD

DATE
12/16/22

PROJECT NUMBER
21-059

SHEET NUMBER
S1.2

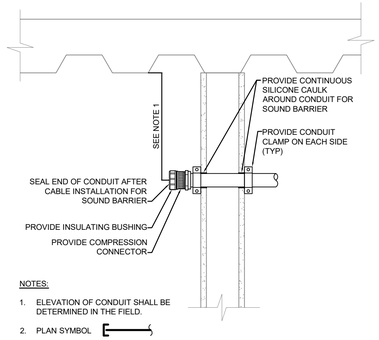


1 E7.0 TYPICAL DEVICE MOUNTING HEIGHTS ELEVATION

SCALE: NO SCALE

NOTES:
1. NOT ALL DEVICES SHOWN MAY NECESSARILY BE USED ON THIS PROJECT.
2. THE ABOVE MOUNTING HEIGHTS SHALL APPLY TO ALL DEVICES UNLESS OTHERWISE NOTED ON THE PLANS. ALL NOTED DIMENSIONS ARE TO THE CENTERLINE OF THE DEVICE FROM THE FINISHED FLOOR, UON.
3. WHERE EXISTING OR SPECIAL CONDITIONS PREVENT THE INSTALLATION OF DEVICES AT THE ABOVE HEIGHTS, THE E.C. SHALL VERIFY HEIGHTS ON SITE WITH THE ARCHITECT.
4. ALL DEVICES IN FINISHED AREAS SHALL BE INSTALLED IN FLUSH DEVICE BOXES. NO SURFACE BOXES SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
5. E.C. SHALL VERIFY FINAL WORKBENCH, COUNTER, CABINET OR VANITY HEIGHTS INCLUDING BACKSPLASH, ON SITE WITH G.C. PRIOR TO INSTALLATION OF BOXES.
6. INSTALL PANELBOARDS SUCH THAT HIGHEST CIRCUIT BREAKER IS NO HIGHER THAN 6'-0" A.F.F.
7. WHERE DEVICES, LIGHTS, ETC. ARE SHOWN ON THE PLAN SUCH AS SHOWN IN THE EXAMPLES BELOW, THEY SHALL BE CENTERED ABOVE AND BELOW EACH OTHER.
8. PROVIDE ADJUSTABLE DEPTH BOX EXTENSIONS WHERE NECESSARY TO ACCOMMODATE WALL FINISH THICKNESS. STEEL CITY 52-ADJ OR EQUAL.
9. FIRE ALARM VISUAL AND AUDIBLE/VISUAL NOTIFICATION APPLIANCES SHALL HAVE THE TOP OF THE LENS NOT GREATER THAN 96" AFF AND THE BOTTOM OF LENS NOT LESS THAN 80" AFF. IF THE CEILING HEIGHT IS LESS THAN 80", THE NOTIFICATION APPLIANCE SHALL BE MOUNTED WITHIN 6" OF THE CEILING.

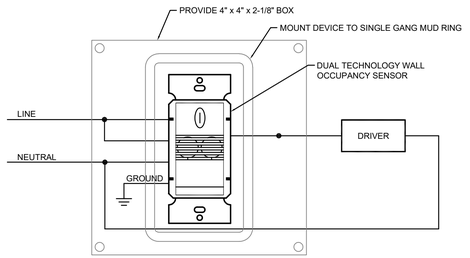
NOTE 7 EXAMPLES:



NOTES:
1. ELEVATION OF CONDUIT SHALL BE DETERMINED IN THE FIELD.
2. PLAN SYMBOL

6 E7.0 CONDUIT THRU-WALL DETAIL

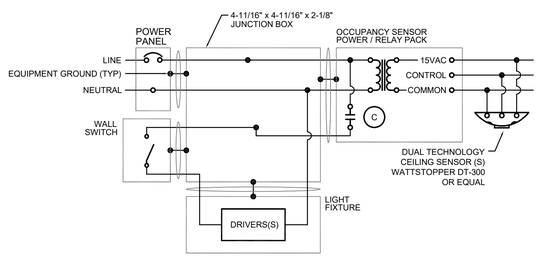
SCALE: NO SCALE



2 E7.0 LIGHTING CONTROL DIAGRAM #1 (LCD1)

SCALE: NO SCALE

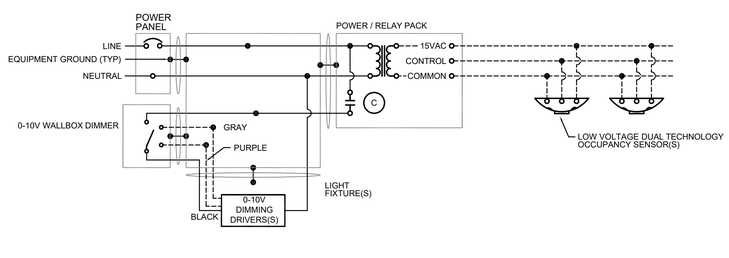
NOTE:
1. NOT ALL LIGHT FIXTURES DEPICTED FOR CLARITY. REFER TO LIGHTING PLANS FOR ADDITIONAL FIXTURES CONNECTED TO THE SAME SWITCHING CIRCUIT.
2. SENSOR TO BE PROGRAMMED FOR MANUAL ON WITH 10 MINUTE TIME DELAY.



3 E7.0 LIGHTING CONTROL DIAGRAM #2 (LCD2)

SCALE: NO SCALE

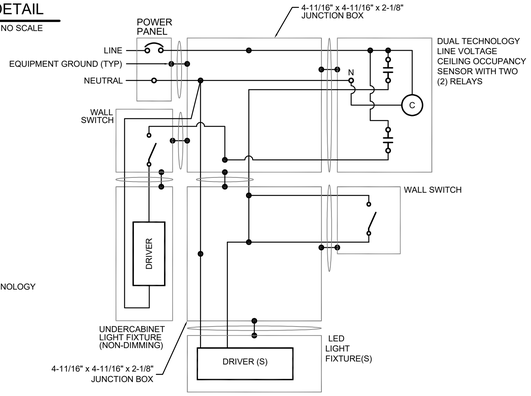
NOTE:
1. NOT ALL LIGHT FIXTURES DEPICTED FOR CLARITY. REFER TO LIGHTING PLANS FOR ADDITIONAL FIXTURES CONNECTED TO THE SAME SWITCHING CIRCUIT.
2. SENSOR TO BE PROGRAMMED FOR MANUAL ON WITH 30 MINUTE TIME DELAY.



4 E7.0 LIGHTING CONTROL DIAGRAM #3 (LCD3)

SCALE: NO SCALE

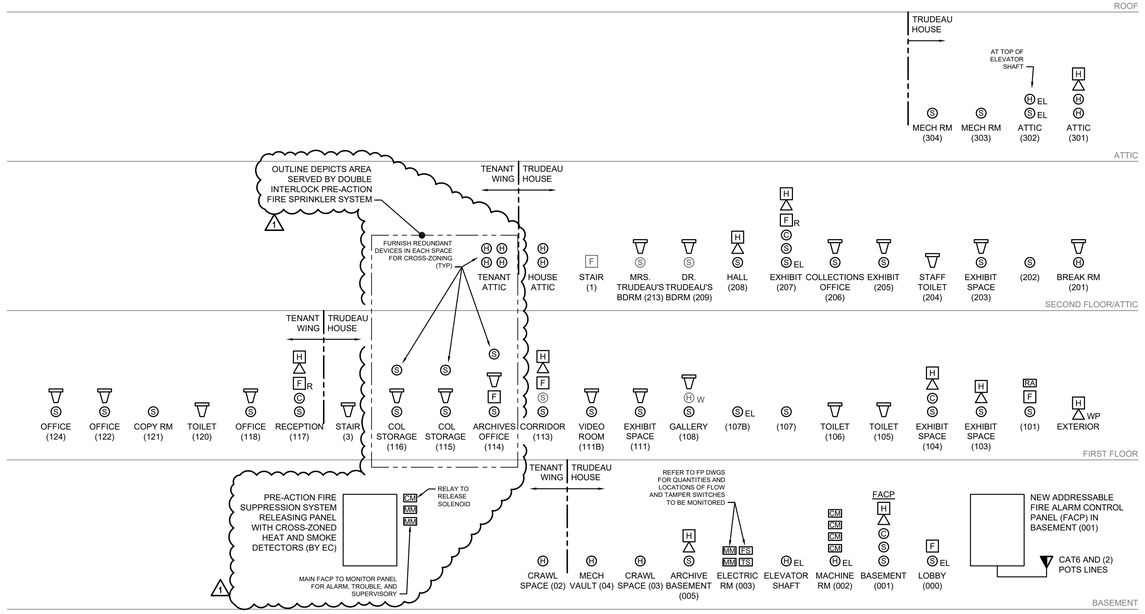
NOTE:
1. NOT ALL LIGHT FIXTURES DEPICTED FOR CLARITY. REFER TO LIGHTING PLANS FOR ADDITIONAL FIXTURES CONNECTED TO THE SAME SWITCHING CIRCUIT.
2. CONTRACTOR TO APPLY FACTORY SUPPLIED SHIELDING TO BLOCK SENSOR VIEW THROUGH GLASS WALLS TO AVOID FALSE TRIPS.
2. PROVIDE DUAL TECHNOLOGY LOW VOLTAGE CEILING CEILING SENSOR WATTSTOPPER DT-300 OR EQUAL.
3. SENSOR TO BE PROGRAMMED FOR MANUAL ON WITH 15 MINUTE TIME DELAY.



5 E7.0 LIGHTING CONTROL DIAGRAM #4 (LCD4)

SCALE: NO SCALE

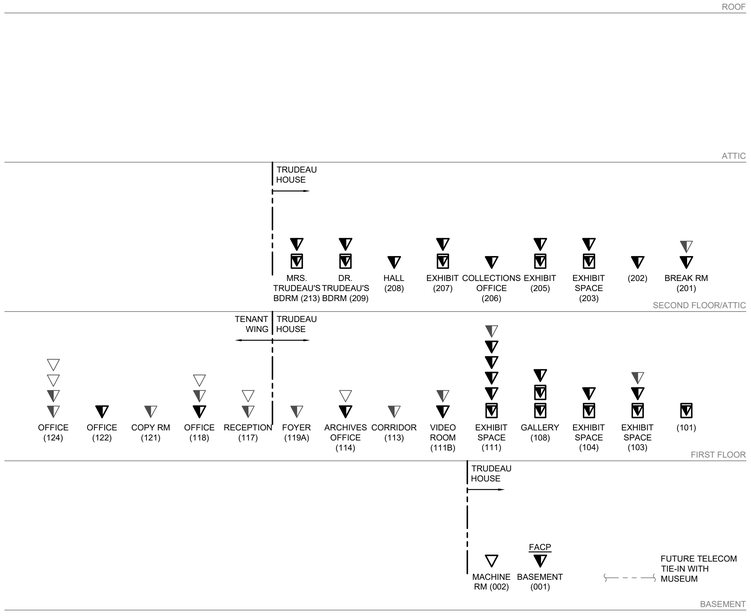
NOTE:
1. NOT ALL LIGHT FIXTURES DEPICTED FOR CLARITY. REFER TO LIGHTING PLANS FOR ADDITIONAL FIXTURES CONNECTED TO THE SAME SWITCHINS CIRCUIT.



7 E7.0 FIRE ALARM DIAGRAM

SCALE: NO SCALE

NOTES:
1. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 72-NATIONAL FIRE ALARM CODE.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720-STANDARD FOR THE INSTALLATION OF CARBON MONOXIDE DETECTION AND WARNING EQUIPMENT.
3. SYSTEM SHALL HAVE DISTINCT AUDIBLE DIFFERENTIATION BETWEEN FIRE AND CO ALARMS.
4. SYSTEM SHALL BE DIGITAL ADDRESSABLE.
5. PROVIDE ALARM, TROUBLE, AND SUPERVISORY SIGNAL TO CENTRAL STATION PER NFPA 72 AND NFPA 720.



8 E7.0 TELECOM DIAGRAM

SCALE: NO SCALE

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PROJECT TITLE

TRUDEAU HOUSE MUSEUM
RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

BID SET REVIEW

MAKING HISTORY MATTER HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
02/03/2023	ADDENDUM	2

SHEET TITLE
ELECTRICAL DETAILS & DIAGRAMS

SCALE
AS NOTED

DRAWN
QEC

DATE
12.16.22

PROJECT NUMBER
2103

SHEET NUMBER
E7.0

PROGRESS SET
NOT FOR CONSTRUCTION

PLUMBING LEGEND

USAN	NEW UNDERSLAB SANITARY PIPE
SAN	NEW SANITARY PIPE
V	NEW VENT PIPE
DCW	NEW DOMESTIC COLD WATER PIPE
DHW	NEW DOMESTIC HOT WATER PIPE
DHWR	NEW DOMESTIC HOT WATER RECIRCULATION PIPE
	PIPE TURNING UP
	PIPE TURNING DOWN
	TEE TURNING DOWN
	TEE TURNING UP
	REDUCER
WHA	WATER HAMMER ARRESTOR
	BALL VALVE
	BALANCE VALVE
	CHECK VALVE
	GAUGE
	UNION
	DRAIN VALVE
	PUMP
DPCO	DECK PLATE CLEAN OUT
UON	UNLESS OTHERWISE NOTED
	NEW TO EXISTING POINT OF CONNECTION

PLUMBING SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE, PLUMBING CODE OF NEW YORK STATE, THE ENERGY CODE OF NEW YORK CODE AND ALL APPLICABLE REFERENCED STANDARDS.
2. ALL VALVES, AND PIPING SHALL BE LABELED AS FOLLOWS:
   A. ALL VALVES SHALL BE TAGGED WITH 2" DIAMETER ENGRAVED PLASTIC TAGS ATTACHED TO VALVE HANDLE WITH A PLASTIC ZIP-TIE.
   B. ALL INSULATED AND NON-INSULATED PIPING RUNNING EXPOSED OR ABOVE ACCESS DOORS SHALL HAVE WRAP-AROUND PIPE LABELS AND FLOW ARROWS AT A MAXIMUM OF 20' ON CENTER.
3. ALL PIPING SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING MATERIALS:

SERVICE	MATERIALS	FITTINGS
DOMESTIC HOT, COLD	TYPE L COPPER	SWEAT PROPRESS
ABOVE SLAB SANITARY, AND VENT	SCHEDULE 40 GALVANIZED STEEL CAST IRON SCHEDULE 40 SOLID PVC	MEGAPRESS HUBLESS COUPLING SOLVENT WELD
UNDERSLAB SANITARY	CAST IRON SCHEDULE 40 SOLID PVC	HUB AND SPIGOT SOLVENT WELD

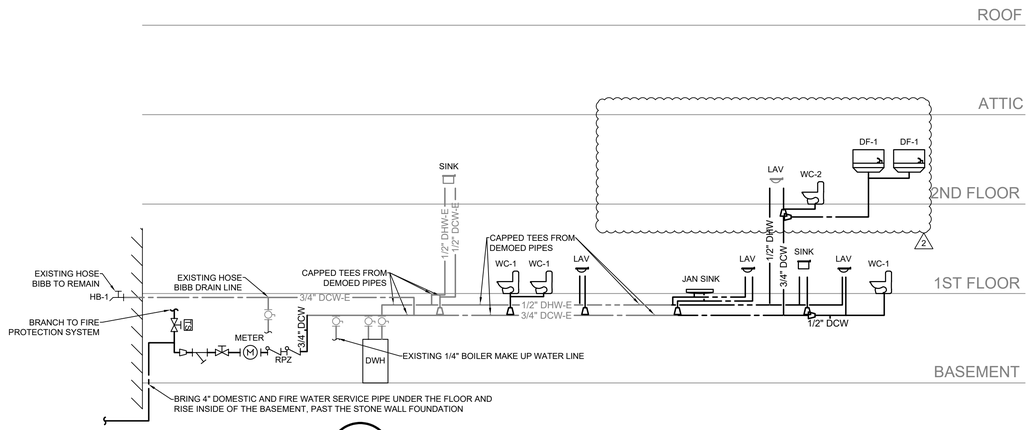
4. NO PIPING SHALL BE ROUTED OVER ELECTRICAL EQUIPMENT AREAS AND TELECOMMUNICATIONS ROOMS.
5. PROVIDE ELECTRONIC SUBMITTALS FOR ALL COMPONENTS TO BE USED ON PROJECT INCLUDING PIPING, INSULATION, HANGERS, VALVES AND FIXTURES. DO NOT PROCEED WITH INSTALLATION UNTIL SUBMITTALS HAVE BEEN APPROVED.
6. NEATLY MARK ONE COPY OF DRAWINGS AS AN AS BUILT SET. NOTE ALL DISCREPANCIES FROM PLAN INCLUDING EXISTING DISCREPANCIES. TURN AS-BUILT SET OVER TO OWNER AT END OF PROJECT.
7. ALL EXPOSED PIPING AT FIXTURES (SAN AND DOMESTIC) SHALL BE CHROME PLATED. EXPOSED PLASTIC PIPING IS NOT ALLOWED.
8. WHERE SOLDER JOINTS ARE USED THEY SHALL BE PER ASTM B-88 WITH 95/5 TIN ANTIMONY OR OF OTHER APPROVED LEAD FREE SOLDER FITTINGS.
9. ALL DOMESTIC WATER PIPING INSULATION SHALL BE 1" THICK FIBERGLASS INSULATION WITH ASJ JACKET, TAPED JOINTS AND SELF ADHESIVE LAPS AT SEAMS. PROVIDE INSERTS AND PVC COVERS FOR ELBOWS.
10. VALVES - PROVIDE TWO PIECE, FULL PORT, BRONZE BALL VALVES WITH STAINLESS STEEL TRIM, NIBCO MODEL S-585-66-LF OR EQUAL. VALVE BODIES SHALL BE DEZINCIFICATION RESISTANT.
11. HANGERS - SUPPORT FROM BEAMS OR JOISTS. PROVIDE HANGERS, THREADED RODS AND CLAMPS SUITABLE TO PROPERLY SUPPORT EQUIPMENT IN ACCORDANCE WITH MSS SP-69 AND MSS 89. PROVIDE COPPER HANGERS FOR COPPER PIPE. PROVIDE 18 GAUGE GALVANIZED INSULATION PROTECTION SHIELD. PLEASE REFER TO HANGING RESTRICTION BY THE STRUCTURAL ENGINEER FOR ATTACHMENTS TO THE METAL BUILDING STRUCTURE
12. SEAL ALL PENETRATIONS THROUGH PARTITIONS WHETHER OR NOT RATED WITH INTUMESCENT MATERIAL. PROVIDE STI MATERIAL. INSTALL FIRESTOP SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S APPROVED INSTRUCTIONS.
13. TEST NEW SANITARY AND VENT PIPING TO 10' OF HEAD WITH NO VISIBLE DROP IN WATER LEVEL FOR 15 MINUTES. REPAIR OR REPLACE ANY PIPING THAT FAILS TEST.
14. FILL DOMESTIC PIPING, PURGE AIR AND TEST TO 125 PSI FOR 4 HOURS WITH 0 PSIG LOSS. REPAIR OR REPLACE ANY PIPING THAT FAILS TEST.
15. CLEAN AND FLUSH NEW AND CONNECTED PORTIONS OF DOMESTIC SYSTEM WITH CLEAN POTABLE WATER. FILL SYSTEM WITH SOLUTION OF 200 PPM OF CHLORINE. ALLOW TO STAND FOR 4 HOURS. FLUSH SYSTEM UNTIL NO CHLORINE IS PRESENT.
16. PROVIDE SLAB CUTTING AND PATCHING FOR BURIED UTILITIES, AS REQUIRED.

SUMP PUMP SCHEDULE

TAG	LOCATION	SERVICE	GPM	FT H_2O	MAX. WATER TEMP. ° F	NOMINAL IMPELLER SIZE	EFF.	ELECTRICAL					MAKE & MODEL
								BHP	AMPS	VOLTS	HP	RPM	
SP-1	ELEVATOR PIT	SUMP	53	15	170	N/A	N/A	N/A	8.5	115	4/10	N/A	ZOELLER OIL GUARD MODEL 152
PROVIDE 6' ELECTRICAL CORD, PROVIDE HIGH WATER ALARM AND OIL SMART ALARM SWITCH, ZOELLER PART NUMBER 10-2149, PROVIDE BRASS CHECK VALVE AND SHUTOFF VALVE, INSTALL COPPER DWV PIPE WITHIN ELEVATOR SHAFT.													

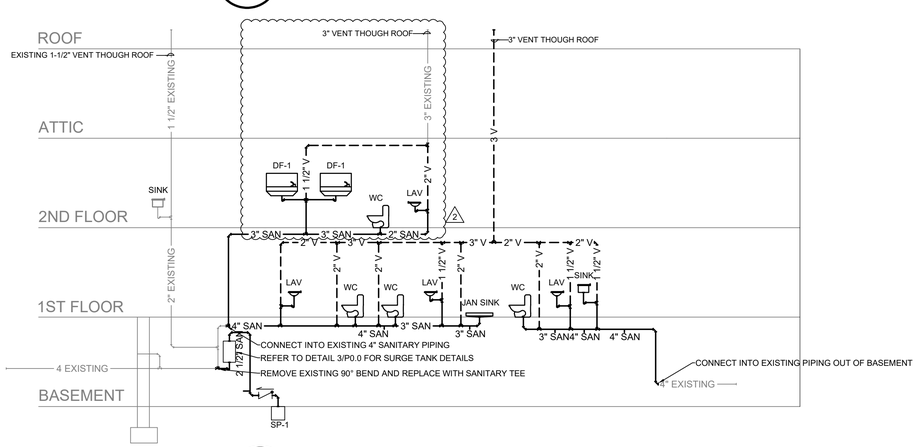
PLUMBING FIXTURE SCHEDULE

TAG NO.	FIXTURE TYPE	MANUFACTURER	MODEL #	FLOW		CONNECTIONS				FITTINGS / ACCESSORIES	REMARKS
				GPM	GPF	SANITARY	VENT	DCW	DHW		
LAV-1	NEW COUNTER TOP BOWL. REFER TO ARCHITECTURAL DRAWINGS. FAUCET SHALL BE CAST BRASS POLISHED CHROME AND ADA COMPLIANT WITH SINGLE HANDLE ADA COMPLIANT FAUCET. COORDINATE BOWL SIZE WITH COUNTER MANUFACTURER	AMERICAN STANDARD AMERICAN STANDARD	0476037 7075000	1.2	N/A	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE 17 GAUGE CAST BRASS, 1-1/2" P-TRAP W/ C.O. PLUG AND ESCUTCHEONS; PROVIDE BRAIDED STAINLESS STEEL FLEXIBLE SUPPLIES WITH 1/4 TURN WHEEL STOPS, PROVIDE 17 GAUGE OFFSET DRAIN PROVIDE MCGUIRE PRO-WRAP PW2150WC,	INSTALL TO ADA STANDARDS, DRAIN TO OFFSET TO BACK, REFER TO ARCHITECTURAL DRAWINGS. FAUCET SHALL HAVE A POLISHED CHROME FINISH VERIFY 4" CENTERS OR 8" CENTERS WITH SOLID SURFACE UNIT PRIOR TO ORDERING
WC-1	FLOOR MOUNTED FLUSH VALVE TYPE WATER CLOSET 1.1 GPF WHITE VITREOUS CHINA WITH CLOSED FRONT, ELONGATED BOWL	AMERICAN STANDARD	3697001	-	1.1GPF	3"	2"	1/2"	N/A	PROVIDE AMERICAN STANDARD MANUAL TOILET FLUSH VALVE MODEL 6147111, NEOPRENE WC GASKET	ELONGATED BOWL. PROVIDE HEAVYWEIGHT SOLID PLASTIC. CLOSED FRONT TOILET SEAT WITH LID
WC-2	FLOOR MOUNTED TANK TYPE WATER CLOSET 1.28 GPF WHITE VITREOUS CHINA WITH CLOSED FRONT, ELONGATED BOWL	AMERICAN STANDARD	714AA.154	-	1.28GPF	3"	2"	1/2"	N/A	PROVIDE AMERICAN STANDARD TANK TYPE TOILET	ELONGATED BOWL. PROVIDE HEAVYWEIGHT SOLID PLASTIC. CLOSED FRONT TOILET SEAT WITH LID
JS-1	PROVIDE HIGH IMPACT RESISTANT DURASTONE STRUCTURAL STRUCTURAL 24"X36" MOP BASIN WITH INTEGRAL MOLDED IN DRAIN AND STAINLESS STEEL STRAINER. PROVIDE MUSTEE MODEL 65M MOP BASIN PROVIDE WALL MOUNTED SINK FAUCET WITH 3/4" THREADED HOSE END SPOUT, VACUUM BREAKER, BUILT IN STOPS, BUCKET HOOK, TOP BRACE TO WALL, MUSTEE MODEL 63,600A. PROVIDE WITH THREE STATION MOP HOLDER, MUSTEE MODEL 65,600, BLACK RUBBER HOSE WITH 3/4" FEMALE THREADED CONNECTION AND HOSE HANGER, MUSTEE MODEL 65,700. PROVIDE WALL AND BUMPER GUARDS.	MUSTEE	65M	N/A	N/A	3"	2"	1/2"	1/2"	MUSTEE	MUSTEE
DF-1	ADA COMPLIANT BOTTLE FILLING STATION WITH INTEGRAL FOUNTAIN. PROVIDE CHILLING CAPACITY OF 8GPH, STAINLESS STEEL CONSTRUCTION	ELKAY	LZSTL8WSLP	0.13	N/A	1-1/2"	1-1/2"	1/2"	N/A	PROVIDE EWF3000 WATER SENTRY PLUS FILTER SYSTEM KIT	N/A
HB-1	EXISTING TO REMAIN	-	-	-	-	-	-	3/4"	-	-	EXISTING TO REMAIN
SINK-1	18 GAUGE STAINLESS STEEL DROP IN, SINGLE BOWL, TWO HANDLE WRIST BLADE FAUCET AND GOOSE NECK SPOUT, ADA COMPLIANT 19" X 24"	ELKAY	LRAD202265PD LKD232SC	1.5	N/A	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE 17 GAUGE CAST BRASS, 1-1/2" P-TRAP W/ C.O. PLUG AND ESCUTCHEONS; PROVIDE BRAIDED STAINLESS STEEL FLEXIBLE SUPPLIES WITH 1/4 TURN WHEEL STOP.	PROVIDE DRAIN ASSEMBLY WITH STRAINER ADA COMPLIANT PROVIDE SOFT PLASTIC INSULATION FOR SUPPLIES AND DRAIN



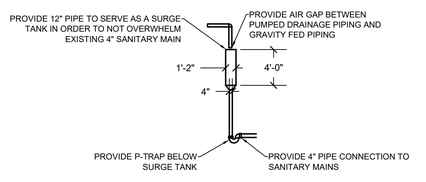
1 P0.0 PLUMBING DOMESTIC WATER RISER DIAGRAM

SCALE: NTS



2 P0.0 PLUMBING SANITARY RISER DIAGRAM

SCALE: NTS



3 P0.0 PLUMBING SANITARY SURGE TANK DETAIL

SCALE: NTS

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PROJECT TITLE

TRUDEAU HOUSE MUSEUM
RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

BID SET REVIEW

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
02/03/2023	ADDENDUM	2

SHEET TITLE
PLUMBING SPECIFICATIONS

SCALE
NTS

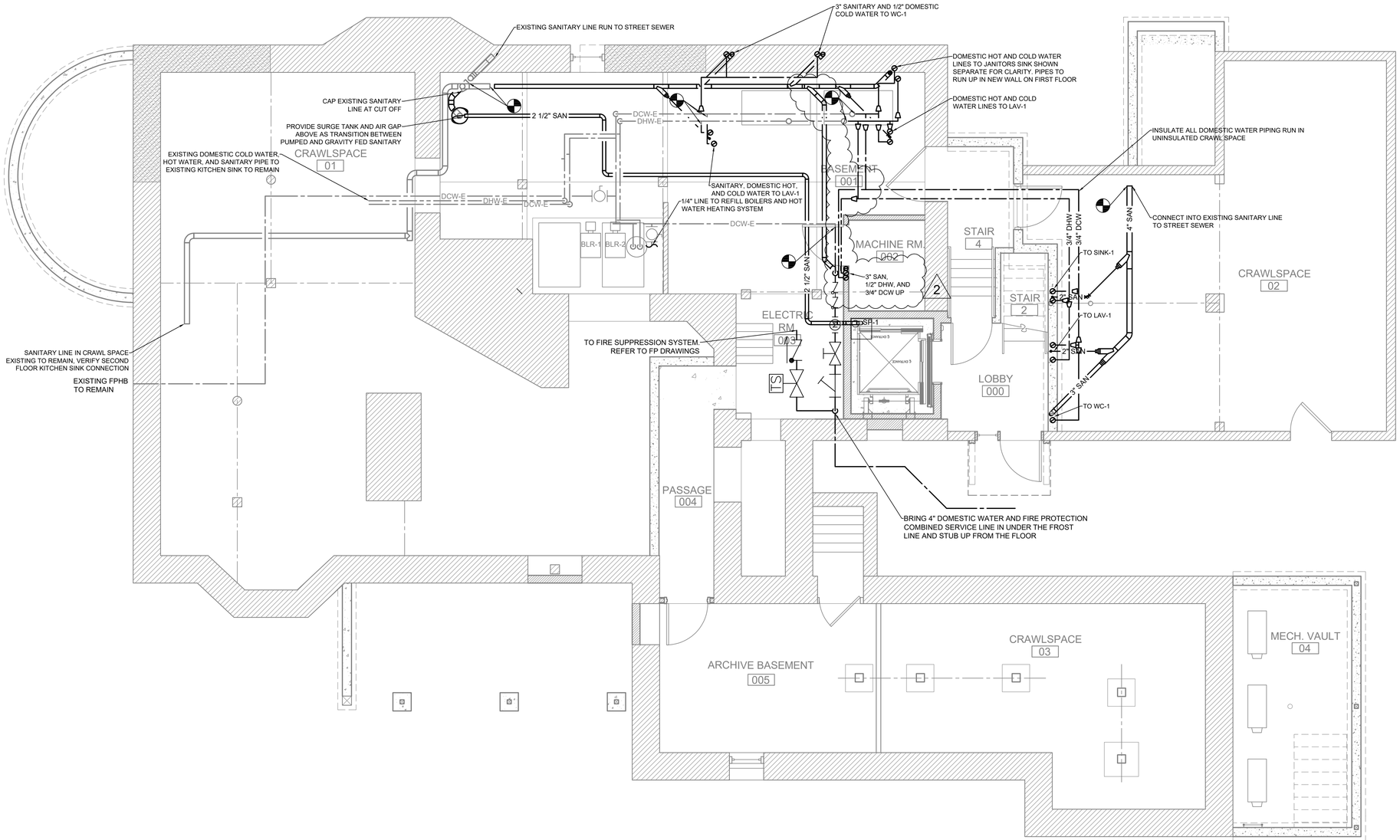
DRAWN
MM

DATE
12.16.22

PROJECT NUMBER
2103

SHEET NUMBER
P0.0

PROGRESS SET
NOT FOR CONSTRUCTION



1 / P1.0 PLUMBING CELLAR PLAN

SCALE: 1/4" = 1'-0"

TYPICAL PIPE SIZES @ FIXTURES				
TAG	SAN	VENT	DCW	DHW
LAV	1-1/2"	1-1/2"	1/2"	1/2"
SINK	2"	1-1/2"	1/2"	1/2"
WC (TANK)	3"	2"	1/2"	N/A
JANITORS SINK	3"	2"	1/2"	1/2"

NOTE: PIPE SIZES ARE TO BE LARGER WHERE WET-VENTS ARE USED PER NYS PLUMBING CODE

2 / P1.0 PLUMBING PIPE SIZE AT FIXTURES

SCALE: NTS

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02/03/2023	ADDENDUM	2

SHEET TITLE
PLUMBING CELLAR PLAN

SCALE
1/4"=1'-0"

DRAWN
MM

DATE
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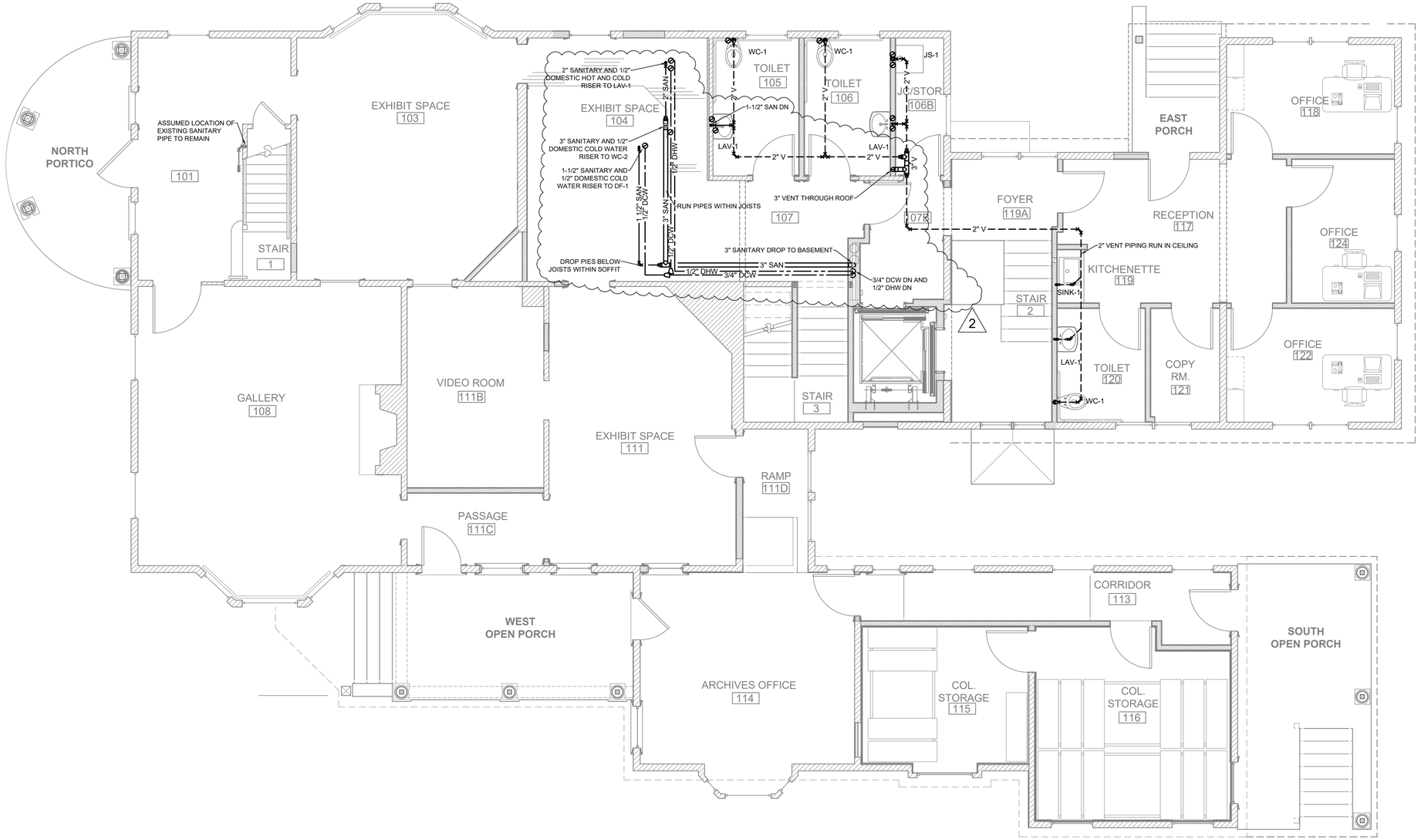
PROJECT NUMBER
2103

SHEET NUMBER
P1.0

PROGRESS SET
NOT FOR CONSTRUCTION



1 / P1.1 PLUMBING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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SHEET TITLE
PLUMBING
FIRST FLOOR PLAN

SCALE
1/4"=1'-0"

DRAWN
MM

DATE
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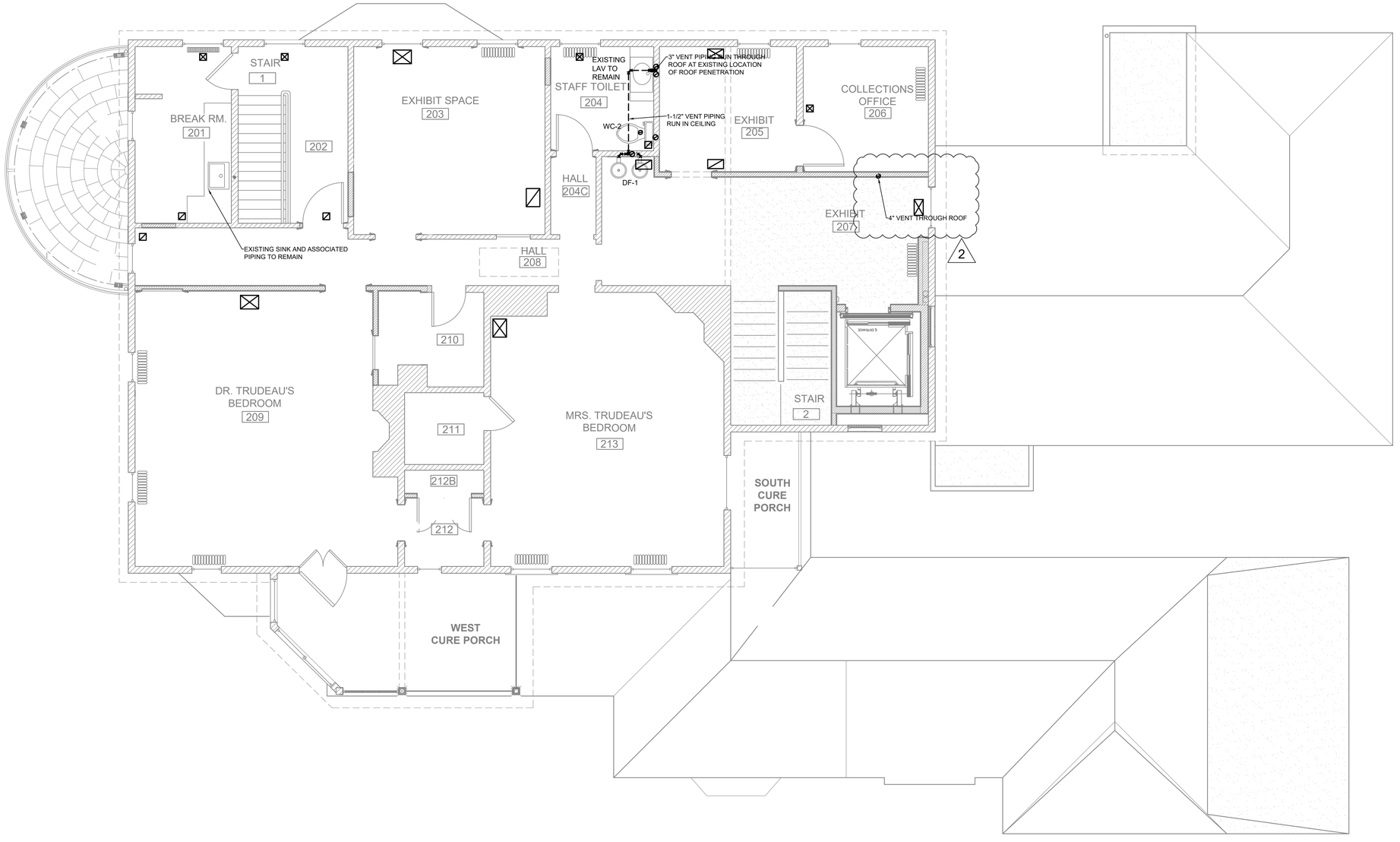
PROJECT NUMBER
2103

SHEET NUMBER
P1.1

PROGRESS SET
NOT FOR CONSTRUCTION



1 P1.2 PLUMBING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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02/03/2023	ADDENDUM	2

SHEET TITLE
PLUMBING
FIRST FLOOR DEMO PLAN

SCALE
1/4"=1'-0"

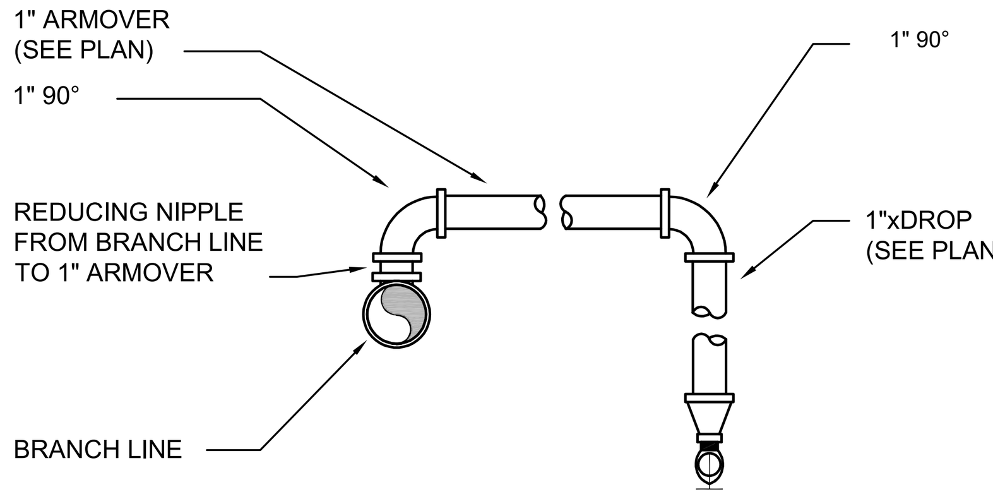
DRAWN
MM

DATE
12.16.22

PROJECT NUMBER
2103

SHEET NUMBER
P1.2

PROGRESS SET
NOT FOR CONSTRUCTION

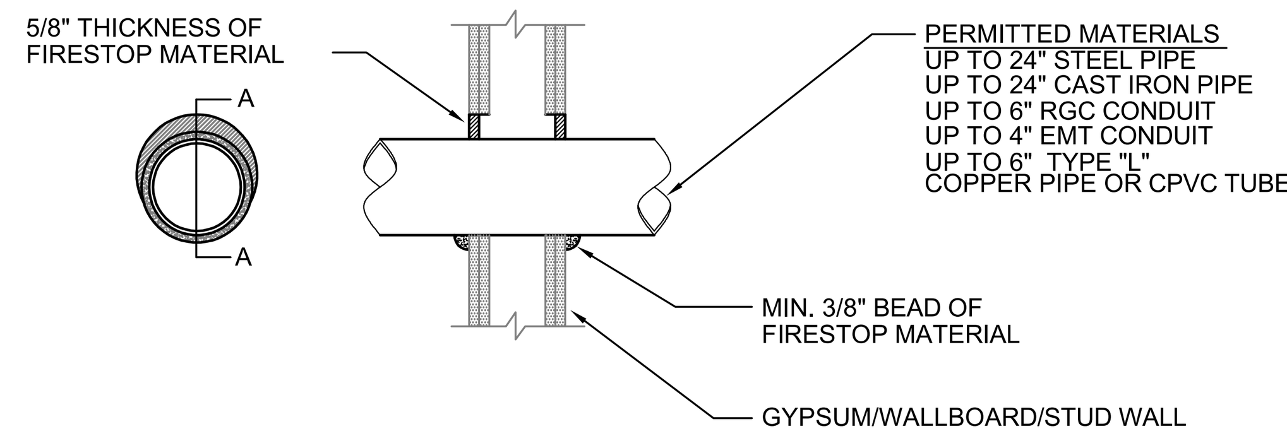


TYPICAL FOR ALL PENDENT HEADS

1 FP0.0 SPRINKLER ARMOVER DETAIL

SCALE: NTS

APPLIED WHEREVER POSSIBLE

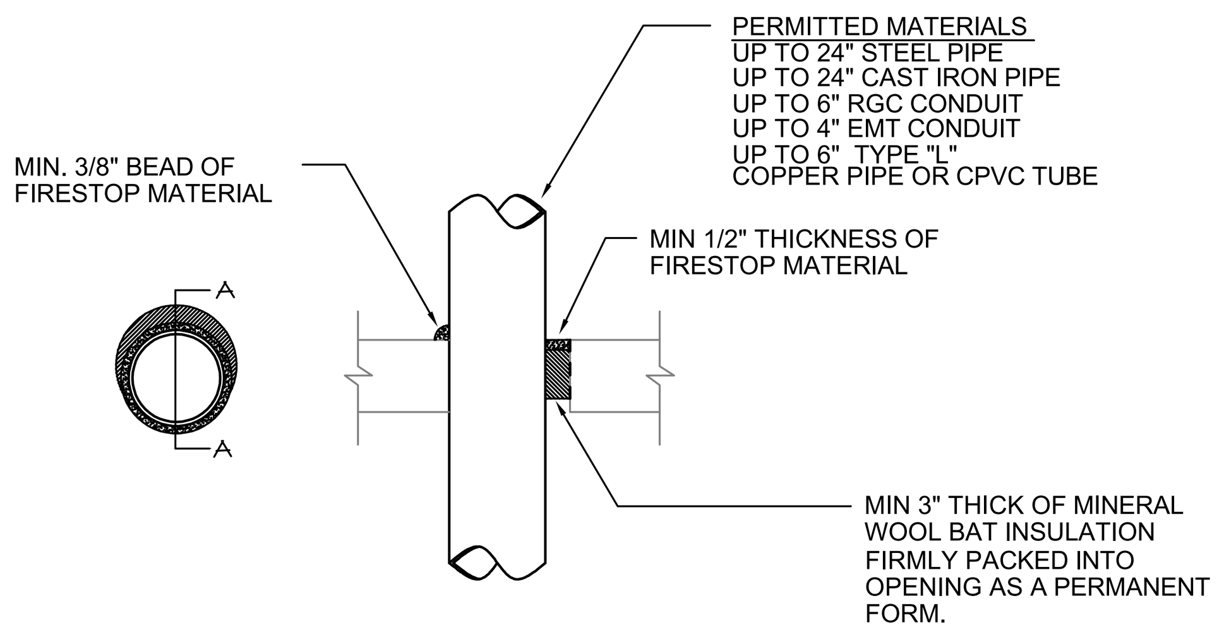


FIRESTOP MATERIAL: SPECSEAL 100, 101, 102 0R 105 SEALANT
INSTALLATION SHALL BE IN FULL ACCORDANCE WITH UL LISTING

NOTE: ALL UNINSULATED PIPE PENETRATIONS REGARDLESS OF WALL RATING
LISTING: UL W-L-1049

2 FP0.0 UNINSULATED PIPE PENETRATION THRU WALL

SCALE: NTS

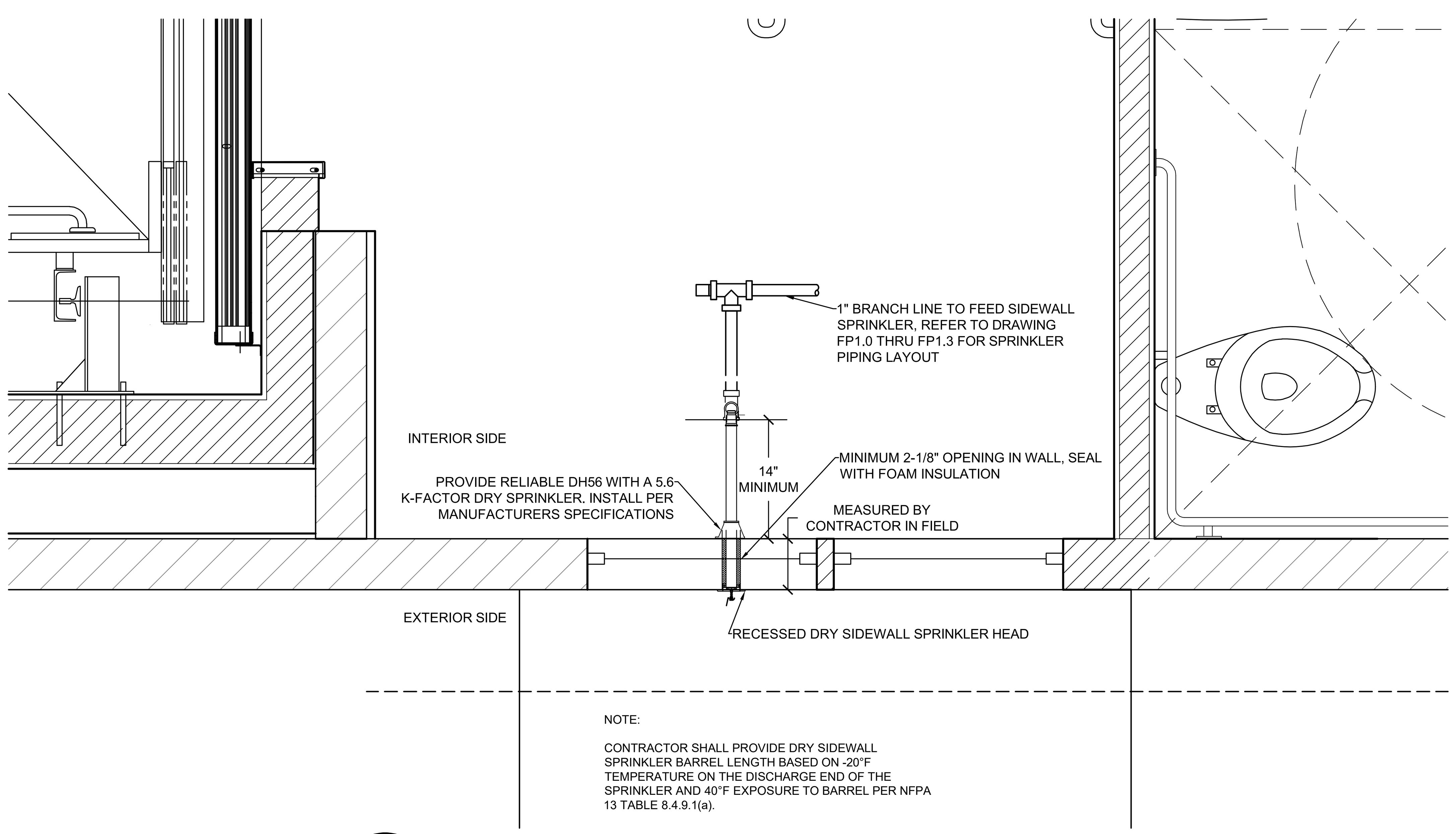


FIRESTOP MATERIAL: SPECSEAL 100, 101, 102 0R 105 SEALANT
INSTALLATION SHALL BE IN FULL ACCORDANCE WITH UL LISTING

LISTING: UL C-AJ-1079

3 FP0.0 UNINSULATED PIPE PENETRATION THROUGH FLOOR

SCALE: NTS



NOTE:

CONTRACTOR SHALL PROVIDE DRY SIDEWALL SPRINKLER BARREL LENGTH BASED ON -20°F TEMPERATURE ON THE DISCHARGE END OF THE SPRINKLER AND 40°F EXPOSURE TO BARREL PER NFPA 13 TABLE 8.4.9.1(a).

5 FP0.0 TYPICAL DRY SIDEWALL SPRINKLER DETAIL

SCALE: NTS

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
DN	DOWN
EC	ELECTRICAL CONTRACTOR
FP	FIRE PROTECTION
FPC	FIRE PROTECTION CONTRACTOR
FS	FLOW SWITCH
GPM	GALLONS PER MINUTE
NTS	NOT TO SCALE
TS	TAMPER SWITCH
TYP	TYPICAL

FIRE PROTECTION LEGEND

—— FP ——	WET SPRINKLER PIPING
— — FP-D — —	DRY SPRINKLER PIPING
—— PRE ——	PRE-ACTION SPRINKLER PIPING
	PIPE TURNING DOWN
	PIPE TURNING UP
	TEE TURNING UP
	TEE TURNING DOWN
	REDUCER
●	CONCEALED PENDANT SPRINKLER
● D	CONCEALED DRY PENDANT SPRINKLER
◄	CONCEALED SIDEWALL SPRINKLER
◄ D	CONCEALED DRY SIDEWALL SPRINKLER
⊗	UPRIGHT SPRINKLER
	CONTROL VALVE
	DRAIN VALVE
	PUMP
	CHECK VALVE
	SHUTOFF VALVE
FS	FLOW SWITCH
TS	TAMPER SWITCH
	PRESSURE GAUGE

FIRE PROTECTION GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REFERENCED STANDARDS AND ALL APPLICABLE BUILDING CODES ADOPTED BY THE STATE OF NEW YORK.
2. THE JOB SITE SHALL BE KEPT FREE OF DEBRIS. ALL UNWANTED MATERIAL AND TRASH SHALL BE REMOVED FROM THE SITE DAILY. CONTRACTOR SHALL BE RESPONSIBLE FOR OFF SITE DISPOSAL OF ALL EXCESS UNWANTED MATERIAL AND CONSTRUCTION DEBRIS DUE TO THE WORK OF THE APPLICABLE CONTRACT. SUCH MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR.
3. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR CONDITIONS OF THE SITE.
4. FULLY COORDINATE ALL PIPING RUNS BEFORE INSTALLATION. NO EXTRAS SHALL BE PERMITTED FOR REROUTING OR REMOVAL OF INSTALLED WORK DUE TO COORDINATION WITH BUILDING STRUCTURE, WORK OF OTHER TRADES OR BUILDING COMPONENTS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA STANDARD 13 (2016) FOR THE INSTALLATION OF FIRE SPRINKLER SYSTEMS.
6. ALL PORTIONS OF THE FIRE SPRINKLER SYSTEM SHALL BE PRESSURE TESTED IN ACCORDANCE WITH NFPA STANDARD 13.
7. PROVIDE ELECTRONIC COPIES OF SUBMITTALS FOR ALL COMPONENTS TO BE USED ON PROJECT INCLUDING PIPING, HANGERS, VALVES, BACKFLOW PREVENTERS AND SPRINKLER HEADS. DO NOT PROCEED WITH INSTALLATION UNTIL SUBMITTALS HAVE BEEN APPROVED.
8. PROVIDE BUILDING OWNER ALL DOCUMENTATION, SPARE PARTS, AND UNUSED COMPONENTS SUPPLIED WITH EQUIPMENT AT THE END OF THE JOB, INCLUDING ALL WARRANTY INFORMATION, TEST REPORTS, OPERATION AND MAINTENANCE MANUALS.
9. CONTRACTOR SHALL WARRANTY ALL WORK AND MATERIALS AGAINST DEFECTS FOR A PERIOD OF (1) ONE YEAR FROM FINAL ACCEPTANCE.
10. FURNISH O&M INSTRUCTIONS AND AS-BUILT DRAWINGS FOR SPRINKLER SYSTEM AND EQUIPMENT TO THE BUILDING OWNER WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY. REQUIRED REGULAR MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL FOR ALL PIECES OF EQUIPMENT. THE LABEL SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.
11. THIS IS A DELEGATED DESIGN. SPRINKLER CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HYDRAULIC CALCULATIONS STAMPED BY REGISTERED DESIGN PROFESSIONAL PROVIDED UNDER SEPARATE COVER.
12. THE SPRINKLER SYSTEM SHALL PROVIDE FULL COVERAGE PER NFPA STANDARD 13.

NITROGEN GENERATOR SCHEDULE

TAG	TANK SIZE (GAL)	MAX FPS CAPACITY	NOMINAL POWER (HP)	VOLTS/ PHASE	NITROGEN PURITY	CONNECTION SIZE	DIMENSIONS	WEIGHT (LBS)	ACCESSORIES	BASIS OF DESIGN
NT-1	28	500	7.5	110VAC/ 1-PHASE	98%	3/4"	15.65"W X 10.1"D X 29.5H	84	1,2,3,4	N-2 BLAST FPS-500

NOTES:

1. BLASTOFF III - EARLY WARNING SYSTEM
2. BLASTOFF IV - ONBOARD PURITY ALARM
3. PROVIDE OPTIONAL STS-NF-QF-2 AIR COMPRESSOR FOR QUICK FILL OPERATION
4. A03-APS2 AUTO PURGE SYSTEM
5. PM BOX MAINTENANCE KIT

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FIRE PROTECTION SPECIFICATIONS

1. ALL PIPING SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS:

SERVICE	MATERIALS	FITTINGS
WET SYSTEM	CPVC SCHEDULE 40 STEEL	CEMENT WELD GROOVED OR THREADED
DRY SYSTEM	CPVC SCHEDULE 40 GALVANIZED STEEL	CEMENT WELD GROOVED OR THREADED
PRE-ACTION AREA ORDINARY GRP.1	CPVC SCHEDULE 40 GALVANIZED STEEL	CEMENT WELD GROOVED OR THREADED

2. VERIFY CPVC FITTINGS ARE APPROVED BY SPRINKLER HEAD MANUFACTURER FOR USE WITH THEIR SPRINKLER HEADS. CERTAIN BRANDS MAY INTERFERE WITH AND CAUSE DAMAGE TO SPRINKLER INLET.
3. COORDINATE THE EXACT SPRINKLER PIPING AND HEAD LOCATION WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS.
4. OFFSET ANY EXPOSED PIPING AS REQUIRED SO THAT IT IS NOT RUN ACROSS LIGHTS, FIRE ALARM CONTROLS, AND OTHER CEILING OR EXPOSED STRUCTURE MOUNTED DEVICES.
5. NEW SPRINKLER HEADS SHALL BE MAXIMUM 7'-6" FROM WALLS IN COVERAGE AREA AND AT LEAST 4 INCHES AWAY FROM ALL WALLS OR OBSTRUCTIONS.
6. ALL PIPING PENETRATIONS THROUGH FULL HEIGHT WALLS OR ABOVE CEILING FIRESTOP SHALL BE FIRE SAFED REGARDLESS OF WHETHER THE WALL IS DESIGNATED AS FIRE RATED OR NOT. SILICONE BASED FIRE CAULKS FOR 2-HOUR RATED WALLS SHALL BE USED IN ALL CASES UNLESS OTHERWISE NOTED.
7. THERE SHALL BE NO NEW VALVES OR OTHER EQUIPMENT REQUIRING ACCESS INSTALLED ABOVE INACCESSIBLE CEILINGS.
8. MINIMUM SIZE OF PIPING TO SPRINKLER HEADS SHALL BE 1" UNLESS OTHERWISE NOTED ON DRAWING.
10. THE OVER-BUILT ROOF AREAS, ATTICS AND CONCEALED SPACES REQUIRE SPRINKLER PROTECTION.
11. EXTERIOR SPRINKLERS AT OVERHANGS SHALL BE DRY SIDEWALL SPRINKLERS, RELIABLE F3Res44Dry WITH A 4.4 K-FACTOR AND STANDARD ESCUTCHEON. VERIFY FINISH FOR ESCUTCHEONS WITH ARCHITECT.
12. DRY SIDEWALL SPRINKLER BARREL LENGTH SHALL BE BASED ON -20°F TEMPERATURE ON THE DISCHARGE END OF THE SPRINKLER AND 40°F EXPOSURE TO BARREL PER NFPA 13 TABLE 8.4.9.1(a). CONTRACTOR TO VERIFY MINIMUM BARREL LENGTHS REQUIRED FOR CONNECTION TO WET PIPE SYSTEM.
13. INTERIOR CONCEALED SIDEWALL SPRINKLERS SHALL BE RELIABLE MODEL RFS42, WITH A 4.2 K-FACTOR AND WHITE COVER PLATE.
14. HYDRAULICALLY DESIGN A SPRINKLER SYSTEM TO PROTECT ALL AREAS OF THE BUILDING. PROVIDE SHOP DRAWINGS AND CALCULATIONS TO ENGINEER FOR APPROVAL. CALCULATED DENSITY/AREA DESIGN AT 0.10 GPM PER SQUARE FOOT FOR AREAS CLASSIFIED AS LIGHT HAZARD AND 0.15 GPM PER SQUARE FOOT FOR AREAS CLASSIFIED AS ORDINARY GROUP 1 HAZARD.
15. CALCULATED DEMAND FLOW INCLUDING HOSE STREAM REQUIREMENTS SHALL BE A MINIMUM OF 10 PERCENT OR 10 PSI; WHICHEVER PROVIDES THE GREATER SAFETY FACTOR, BELOW THE AVAILABLE SUPPLY CURVE. MAXIMUM CALCULATED VELOCITY IN ANY SECTION OF SPRINKLER PIPE SHALL NOT EXCEED 20 FPS.
16. CONTRACTOR SHALL PROVIDE NEW HYDRANT FLOW TEST.
17. ALL SIDEWALL SPRINKLER HEADS SHALL BE INSTALLED MINIMUM 4" AND MAXIMUM 6" BELOW CEILING.
18. ALL SIDEWALL SPRINKLER HEADS SHALL BE A MINIMUM 48" FROM ANY LIGHT FIXTURE OR SIMILAR OBSTRUCTION PER NFPA 13 SECTION 8.7.5.13.
19. ALL PENDANT SPRINKLER HEADS SHALL BE A MINIMUM OF 48" FROM CEILING FAN BASES AND A MINIMUM 18" FROM SURFACE MOUNTED LIGHT FIXTURES, UNLESS ANOTHER HEAD IS LOCATED ON THE OPPOSITE SIDE OF THE OBSTRUCTION TO PROVIDE FULL COVERAGE.
20. MINIMUM SPRINKLER SPACING SHALL BE 6 FEET ON CENTER, REGARDLESS OF TYPE OR LOCATION.
21. MINIMUM SPRINKLER DISTANCE FROM ADJACENT WALL SHALL BE 4", REGARDLESS OF TYPE.
22. INTERLOCK SHALL BE PNEUMATICALLY OPERATED
23. DOUBLE INTERLOCK SHALL BE FREE STANDING WITHOUT A CABINET
24. RECEIVE APPROVAL FROM ARCHITECT BEFORE ANY HOLES ARE DRILLED IN WALLS OR FLOORS

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PROJECT TITLE

TRUDEAU HOUSE MUSEUM RENOVATIONS
118 MAIN STREET
SARANAC LAKE, NY 12983

FOR

HISTORIC SARANAC LAKE

BID SET REVIEW

MAKING HISTORY MATTER
HISTORIC SARANAC LAKE

DATE	DESCRIPTION	REV. #
02/03/2023	ADDENDUM	2

SHEET TITLE
FIRE PROTECTION LEGENDS AND SCHEDULES

SCALE
AS NOTED

DRAWN
QEC

DATE
12.16.22

PROJECT NUMBER
2103

SHEET NUMBER
FP0.0

PROGRESS SET
NOT FOR CONSTRUCTION